CITY OF NAPOLEON - BUILDING DEPARTMENT oleon. Ohio 43545 - 419-592-4010

CITY OF NAPOLEON - BUILD! 255 West Riverview Avenue, Napoleon,	Ohio 43545 - 419-592-4010
OFF West Riverview Avenue, Napoleon,	BASE PLUS
	W DING
Permit No. 1119 Issued date	BUILDING 17.00
lob Location address	ELECTRICAL 8.00
i diver legal discript	PLUMBING 6.00
Issued By building official	MECHANICAL
Roberto neose	DEMOLITION
Address 321 Short St.	ZONING
Agent builder-engetc.	Late and the first terms of the
	SIGN
Description of Use Remodel structure into	WATER TAP 60.00
Description of single family dwelling	SEWER TAP 6-25-86 M/A 10:00
Residential Single no. dwelling units	TEMP. ELEOT. hrs hrs
Residential	ADDITIONAL
Commercial	PLAN Elect. (15.00 VES 00)
Mixed Occupancy	TOTAL FEES
Change of Occupancy	LESS MIN. FEES PAID 3-27 86 date
Change of Cost \$ 10,003.00	DALANCE DUE
ZONING INFORMATION	side yds
dimensions area	Cate application or appeal req'd
district	max cover
max hgt no pkg spaces no log space	· · · · · · · · · · · · · · · · · · ·
WORK INFORMATION:	Ground Floor Areacu. ft.
and the second s	CONTRACTOR OF THE PROPERTY OF
Size: LengthBuilding Volume (for	demo. permity
Height brief description	
Electrical:	
Plumbing: brief descript	The second secon
Mechanical: brief descrip	sign Area
Dimensions	Vid 65.60 5-25.86
Additional Information:	Tra 78. 8715.00 / Lafurica
- Cignature	Cowner agent
Date	-Electrical Inspector Green-Clerk-Treasurer Gold-County Asset
Department Yellow-Applicant Pink	



PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT

255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010 Issued 11/19/85 **FEES BASE PLUS** TOTAL Job Location 403 Hudson BUILDING 24.00 Lot_ ELECTRICAL sub-div or legal discript 17.00 Issued By Richard G. Hayman building official **PLUMBING** 8.00 Roberto Huesca name **MECHANICAL** 6.00 321 Short St. Address_ **DEMOLITION** Owner Agent_ builder-eng.-etc. ZONING Address. Description of Use Remodel structure into SIGN single family dwelling WATER TAP 300.00 single Residential_ SEWER TAP no. dwelling units 60.00 Commercial_ ___Industrial_ TEMP. ELECT. 10.00 New____Add'n.____Alter___Remodel_ ADDITION Struct. Mixed Occupancy___ PLAN REVIEW Elect. Change of Occupancy_ TOTAL FEES 425.00 Estimated Cost \$_10,000.00 LESS MIN. FEES PAID. -0-ZONING INFORMATION district lot dimensions area fron yd side yds rear yd max hgt no pkg spaces no ldg spaces max cover petition or appeal req'd date appr WORK INFORMATIO Size: Length: Width_ Stories. Ground Floor Area_ Height Building Volume (for demotermit) Electrical:_ brief description Plumbing: brief description Mechanical:_ brief description / Sign:_ Dimensions. Sign Area_ Additional Information: ____Applicant Signature_ owner-agent

Green-Clerk-Treasurer

Gold-County Auditor

White-Building Department Yellow-Applicant Pink-Electrical Inspector

		o

IIIPERMIT

Permit No. U.1U19 Issued 11/19/85	
Job Location 403 Budson	BUILDING 24.00
Lotaddress	
sub-div or legal discript Issued By Richard G. Hermon	P ELECTRICAL 17.60
building official	☐ PLUMBING 5.00
Owner_Roberta Roseca name tel.	
Address 371 Secret St.	P MECHANICAL SE
Agent Change	□ DEMOLITION
builder-engetc. tel. Address	ZONING
	- Wat Made I was N
Description of Use <u>Revealed structure into</u>	SIGN
single family dwalling	CITY OF NAPOLEON 330.00
Residential Single no. dwelling units	L/OX
CommercialIndustrial	Building Department 60.00
NewAdd'nAlterRemodel	P. O. Box 151 - 255 West Riverview Avenue
	Noneless (out
	Napoleon, Onio 43545
	Napoleon, Ohio 43545
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METER SOCKET RELEASE

JOB ADDRESS 403 HUDSOn	PERMIT NO. //20
OWNERS NAME ROBBRATO HURSCO	7,7,0
OWNERS ADDRESS 3/2 SHOWY	PHONE
CONTRACTOR OWNER	
CONTRACTORS ADDRESS	PHONE
SIZE OF SERVICE 100 AMP OVERHEAD	JNDERGROUND
DATE APPROVED 11/19/55 APPROVED BY	and & Thomas

		93

APPLICATION FOR PERMIT TO TAP SEWER

1 0 5		
Owner Roberto Haise		
ADDRESS 35/5HOX		NO
CONTRACTOR Ourne		BLDG. PERMIT /// 9
ADDRESS_		PERMIT FEE \$ 60,00
	TEL	STREET BOND
		DATE PAID
		For office use only
LOCA	TION OF CONNECTION	
Street and No. 4777 H		
Lot No. / Subdivision F	6 10	Storm
Lot No. / Subdivision / Size and Type of Sewer PVC	VII and add	Size of Tap
Street to be opened-YesNo	ALL	WORK MUST BE INSPECTED
Street opening	_ Opening bond fee se	et by Engineer \$
opening agreement approval	date	
I certify that the sewer will be will be connected.	used only as indicated	and no other drainage
Date	· · · · · · · · · · · · · · · · · · ·	
	Owner	
DO 3707	owner-Rn1	Ider-Agent
DO NOT	WRITE BELOW THIS LINE	
733		
Date Ingresses	SPECTION RECORD	
Date Inspected	Size and Type of	Sewer
Location Dep Inspected and Approved by:	th _	
Inspected and Approved by:	Туре	e of Test
TI-Stea by.	Inspector	
Additional informati	inspector	Date
Additional information		
Send copy to:		
KETCH OF INSTALLATION ON BACK		

CITY OF NAPOLEON BUILDING INSPECTION DEPARTMENT APPLICATION FOR ELECTRICAL PERMIT (Please print or type)

DateApplicant's Sig	3nature
*Application for permit shall be accompanied plans including: Electrical layout and riser and industrial work only).	by two complete sets of diagram. (For commercial
*Ground fault circuit interrupter protection single phase, \$5 and 20 amp. Circuits which electric service: and also on bathroom, outdo in all dwelling units. Art. 220-8 N.E.C.	is required on all 120-volt are part of a temporary or, and garage receptacles
Additional Information:	
Total Floor Area - Commercial and Industrial	The state of the s
Require Temporary Electric (Yes	or No)
Type of proposed service entrance Many Under	erground Overhead
Size of proposed service entrance 100 Auxumb	per of new circuits 12
of stucture to reach	that devolving
Brief Description of Work: Messa ///	
New Service Change Rewiring	Additional Wiring
Residential SINGUAR Commercial No. Units New Service Change Powising	Industrial
Work Information:	
Location of Project 403 Huosen co	ost of Project 10,000
Address	
General Contractor_ OWNRR	Telephone No
Address	· · · · · · · · · · · · · · · · · · ·
Electrical Contractor OWNIZK	Telephone No
Owner's Name TOBISETC HUESCA	Address 3215HORY
	reelng to do all such work in s adopted Electrical Codes.

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BUILDING INSPECTION DEPARTMENT APPLICATION FOR PLUMBING PERMIT (Please print or type)

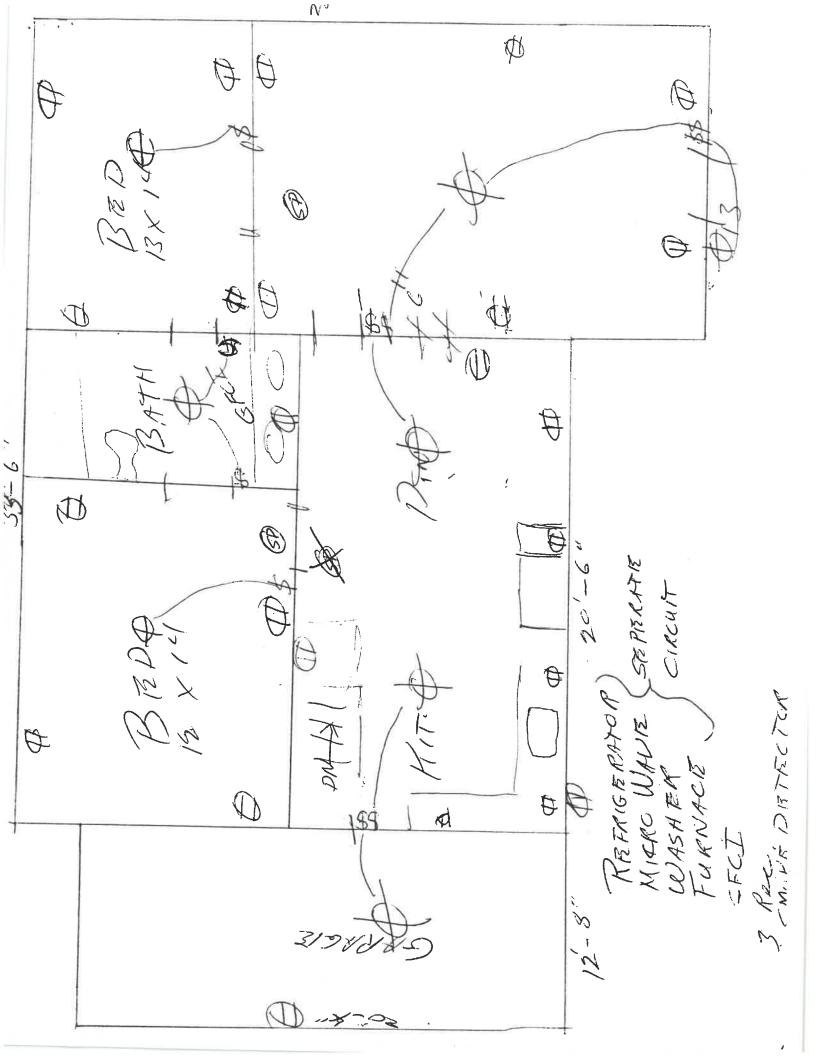
The undersigned hereby makes application for the installation or replacement of plumbing work as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Plumbing Codes. (1, 2 and 3 family dwelling units only).

Owner's Name Roberto Huesca Address 3215 hort
Plumbing Contractor Ocupe Telephone No.
Address
General Contractor Ciune, Telephone No.
Address
Location of Project 403 Thucken Cost of Project 10,000 ce
Work Information:
No. of dwelling units / New X Replacement Addition
description of work:
family dwelling
Is water tap required 1/25 Size / Type of Pipe
Is sewer tap required VRS Size Type of Pipe
Type of Water Distribution pipe
Type of Drainage, Waste and Vent Pipe PVC
Size of main building drain 411 Size of main vent pipe 311
Vater closets / Bathtubs / //2 Shower No. Trap Size
avatories / No. Trap Size Kitchen Sink / No. Trap Size No. Trap Size
ishwasher
ll installations are subject to plumbing tests and/or inspections.
ateApplicant's Signature

7. 100 run 7-28.76

CITY OF NAPOLEON BUILDING INSPECTION DEPARTMENT APPLICATION FOR HEATING PERMIT (PLEASE PRINT OR TYPE)

The undersigned hereby makes application for the installation, repla or alteration of a heating system or device as herein specified, agr to do all such work in strict accordance with the City of Napoleon's adopted Mechanical Code for 1, 2 and 3 Family Buildings. Owner's Name Roberton Harrick Address 35/ SHOKE Contractor's Name Owner Address Tel BUILDING INFORMATION: Single Family ____ Multiple ____ New Construction Addition Remodel Replacement No. of Stories DESCRIPTION OF WORK Heating System - Warm Air ___ Hot Water ___ Steam : __ Electric Unit Heaters _____ Unit Gas Heaters ____ Other ____ Type - Gravity_____ Forced_____ Radiant_____ No. of Thermostatical Heating Zone_____ Hot Water - One Pipe _____ Two Pipe ____ Series Loop ____ Electric Heat - No. of Circuits _____ Other ____ Total Heat Loss of Area to be Heated Rated Capacity of Furnace/Boiler_____ No. of Furnaces No. of Hot Air Runs No. of Hot Water Radiators _____ Type of Fuel _GAS Heating Units Located: Crawl Space ___ Floor Level ___ Suspended_ Roof or Exposed to Outside Air___ Attic___ Other Basement APPLICATION FOR PERMIT SHALL BE ACCOMPANIED BY TWO COMPLETE SETS OF F INCLUDING: LOCATION OF FURNACE OR UNIT HEATERS AND SIZE AND LOCATION FEEDER DUCTS AND RETURN AIR DUCTS. ALL PLANS SHALL BE DRAWN TO SCALE ESTIMATED COST OF COMPLETED PROJECT: DATE_____APPLICANT'S SIGNATURE__ OWNER-CONTRACTOR-AGEN



1 Hudson Drive

Site Inspection made 29Nov85 1:15 - 3:30 pm by Paul Buehrer on permission of Citations of 1983 CABO One and Two Family Dwelling Code Mr, and Mrs. Huesca

BUILDING PLANNING

R-210 PRIVATE GARAGES

R-210.2 SEPARATION REQUIRED

One-hour fire wall must be applied to garage side of wall

FOUNDATIONS

R-301 GENERAL

R-301.2 REQUIREMENTS

The foundation must accomodate all live, dead, and other loads and all lateral loads Footer must be installed

R-302 MATERIALS

R-302.1 STANDARDS

Materials for foundations and basement walls must be reasonably safe and meet standards

Original pour was made containing miscellaneous masonry articlus (Exhibit A) included in bottom of to take up space and save material

This procedure destroys the continuity of the pour

The original poured wall must be corrected Several concrete block contain web fractures In crawl space to west, these must be replaced Foundation has settled (South face of brick to west has longitudinal fractures)

R-303 FOOTINGS

All exterior and bearing walls shall be supported on footings extending below the frost line

32" footer must be installed in crawl spaces and slab floor Bearing surface shall be 12" larger than wall width

R-309 CRAWL SPACE

R-309.1 VENTILATION

South East crawl space requires 0.75 Sq Ft ventilation North East crawl space requires 0.75 Sq Ft ventilation West crawl space requires 2.5 Sq Ft ventilation

WALL CONSTRUCTION R-402 WOOD

R-402.3 CONSTRUCTION

Exterior walls must be constructed in accordance with Figure No. R-402.3.1

Blocking is required in East and West end of joists or 1"x4" Ribbon is cut into stud $\frac{1}{2}$ " Bolts at 6' oc imbedded into walls 7" as anchors

R-402.7 FIRESTOPPING

Required at floor level at top of concrete walls Required at ceiling level

WALL COVERING

R-501 GENERAL

R-501.1 APPLICATION

Construction must conform with material, test, and construction standards

Some sheathing may contain too high moisture content

R-401.2 Installation

Products sensitive to adverse weather shall be protected Studs may contain too high moisture content

		•

WALL COVERING

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls must be covered with approved materials Moisture content of sheathing

R-503.4 MASONRY VENEER GENERAL

Masonry veneer must be installed in accordance with Figure No. R-503.4

Metal ties must anchor brick to stud wall R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved metal ties spaced 24" horizontally and $19\frac{1}{2}$ " vertically

R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant siding

This may not have been applied soon enough to prevent water damage

FLOORS

R-601 GENERAL

R-601.2 REQUIREMENTS

Floors must be constructed in accordance with Figure No. R-601.2

Header must be installed at stairwell

R-602 DIMENSION LUMBER

R-602.4 LATERAL SUPPORT AND BRIDGING

Joists must be supported at ends by blocking R-602.8 HEADERS

Openings shall be framed with a header

ROOF-CEILING CONSTRUCTION

R-701 GENERAL

R-701.1 APPLICATION

Roof system must conform to material, test, construction, and design standards, Figure R-702.3

See proposed truss diagram

R-702 DIMENSION LUMBER

R-702.1 IDENTIFICATION AND GRADE

Material must be utility grade lumber or better

R-702.2 FRAMING DETAILS

Ridge boards shall be 1" nominal thickness and not less in depth than the cut end of the rafter

Ridge board on garage must be replaced, I will waive this requirement for main structure

R-702.3 (FIGURE) FRAMING DETAILS

2"x4" purlin to be continuous between braces

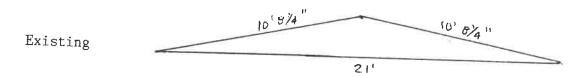
2"x4" braces to be 32" oc

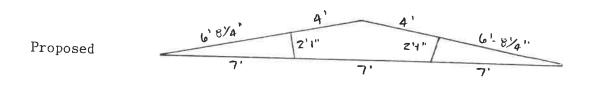
See proposed truss diagram

			3

1 Hudson Drive (Page Three) PROPOSED TRUSS DIAGRAM

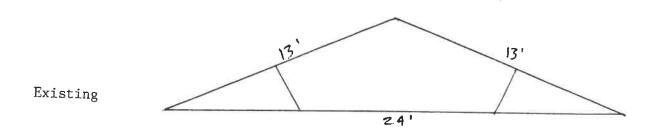
GARAGE Existing	21'Span	2'Peak		
5/8"x4" 2"x4" 16" oc	Ridge Rafter	Code Section R-702.2	Required 1"x6"	Notes
2"x6" 36" oc		7-M 7-D R-702.3Fig R-702.3Fig	2"x6" 16" oc 2"x8" 16" oc 2"x4" 2"x4" 48" oc	Def=0.53, Span=7'3" Def=1.05, Span=16'1"

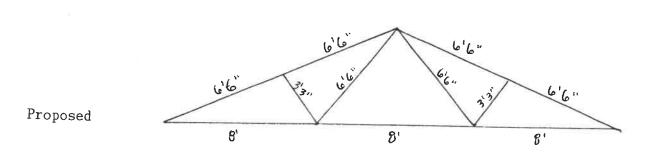




MAIN STRUCTURE	24' Span	5' Peak		
Existing		Code Section	Required	No

1"x4" 2"x4" 16" oc	Ridge	R-702.2	Required 1"x6"	Notes
2"x6" 16" oc 2"x6" 16"-18" oc	Rafter Joist Braces	7-S 7-B R-701.1	2"x4" 16" oc 2"x6" 16" oc 2"x4" 32" oc	Def=0.80, Span=6'3" Def=1.20, Span=12'0"





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APPLICATION FOR PUBLIC HEARING BOARD OF ZONING APPEALS CITY OF NAPOLEON, OHIO

TO:

TO: Department of Building and Zo FOR: Chairman and Members of the E	oning Board of Zoning Appeals
I/We hereby file a petition for:(ch	neck the box applicable)
1. <u>x</u> Variance	\$40.00
2 Administrative Appea	ıl No Fee
Address of property: Corner of Adr	ian Pike and Hudson Street, Napoleon, Ohio '
Legal description of property:	
The North part of Lot No. 1 in Susa City of Napoleon, Ohio (See attache	an J. Rowen's Fairground Addition to the ed description)
Priof decemention of persons.	я с • па ш
	e now stands upon this property which does ements. It is requested that the set-back said dwelling is in line with other houses
Note: All petitions require a mini Public Hearing.	mum of 15 days notice for
The owners of the premises is(are):	Name Edward H. Fruth estate (legal or benifical owner) c/o Lloyd R. Fruth Address 557 West Main Stret Napoleon, Ohio 43545 Phone (419) 592 - 8651
This application is filed on behalf of the owner by:	Name Sloyl R. Fruth Exueta Address 557 W Main Phone () 592 - 865/
RECIEVED: 19	MAY 10 1564 CITY OF MATULEON

Front living room C 5 61/2 16 Kitchen 6119 121/2 5 trapes 26 Electrich Reed



CITY OF NAPOLEON BUILDING INSPECTION DEPARTMENT APPLICATION FOR BUILDING PERMIT (Please print or type)

The undersigned hereby makes application for construction, installation, or alteration work as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Building Codes.

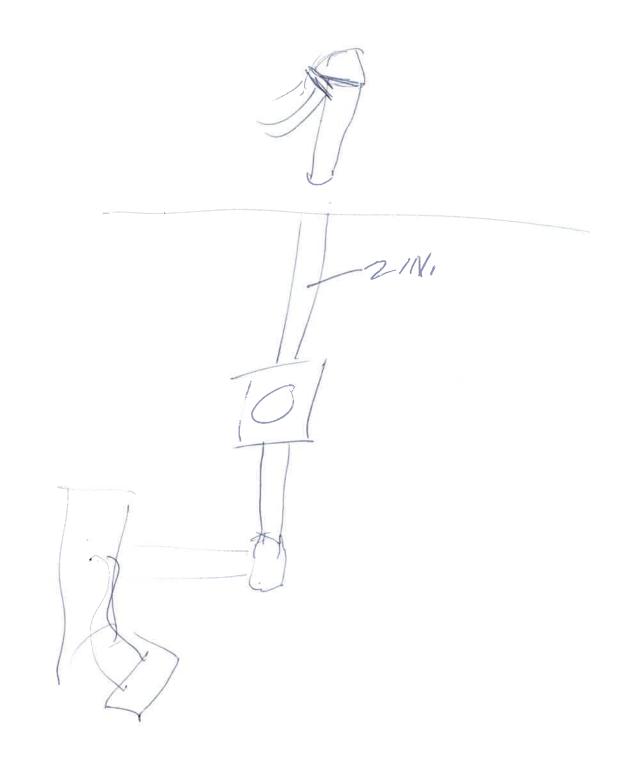
bocación of project 2/03 Hubson	Cost of project	100000
Owner's Name ROBERTO HUESCA	Address 321 SHORT S	7.
Contractor SCLF	Telephone No.	
Address		#
Lot Information: (Not required for siding	ng job)	1
Lot No Subdivision		
Zoning District Lot Sizeft.		sq. ft.
Setbacks: Front Right Side		
Work Information:		
Residential Commercial_	Industrial	
New Construction Addition	Pomada 3	
Accessory Building S Brief Description of Work:	Giding ——	
Parief Description of Work: Part	(TTA) 40 C	
Size: Length Width No.	of Stories	}
Area: lst Floorsq. ft. Ba		
2nd Floorsq. ft. Ac		
	hersq.	200
sq. it. Ot		

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CITY OF NAPOLEON BUILDING INSPECTION DEPARTMENT APPLICATION FOR ELECTRICAL PERMIT (Please print or type)

The undersigned hereby makes application for installation or replacement of electrical equipment as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Electrical Codes. Owner's Name ROBERTO HUESCA Address 321 SHORY Electrical Contractor OWNE Telephone No.____ Address General Contractor_____OWNRR_______ Telephone No._____ Address Location of Project 403 Husson Cost of Project 10,000 Work Information: Residential SOUGH Commercial Industrial Industrial Service Change Rewiring Additional Wiring Brief Description of Work: New Wirey an convassion shueture to residen Size of proposed service entrance 100 Annumber of new circuits 12 Type of proposed service entrance Want Underground ____ Overhead ____ Require Temporary Electric_____ (Yes or No) Total Floor Area - Commercial and Industrial only_____ Additional Information:_____ *Ground fault circuit interrupter protection is required on all 120-volt single phase, \$5 and 20 amp. Circuits which are part of a temporary electric service: and also on bathroom, outdoor, and garage receptacles in all dwelling units. Art. 220-8 N.E.C. *Application for permit shall be accompanied by two complete sets of plans including: Electrical layout and riser diagram. (For commercial and industrial work only).

_____ Applicant's Signature Aphorto L. Apresca



CITY OF NAPOLEON BUILDING INSPECTION DEPARTMENT APPLICATION FOR PLUMBING PERMIT (Please print or type)

The undersigned hereby makes application for the installation or replacement of plumbing work as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Plumbing Codes. (1, 2 and 3 family dwelling units only).

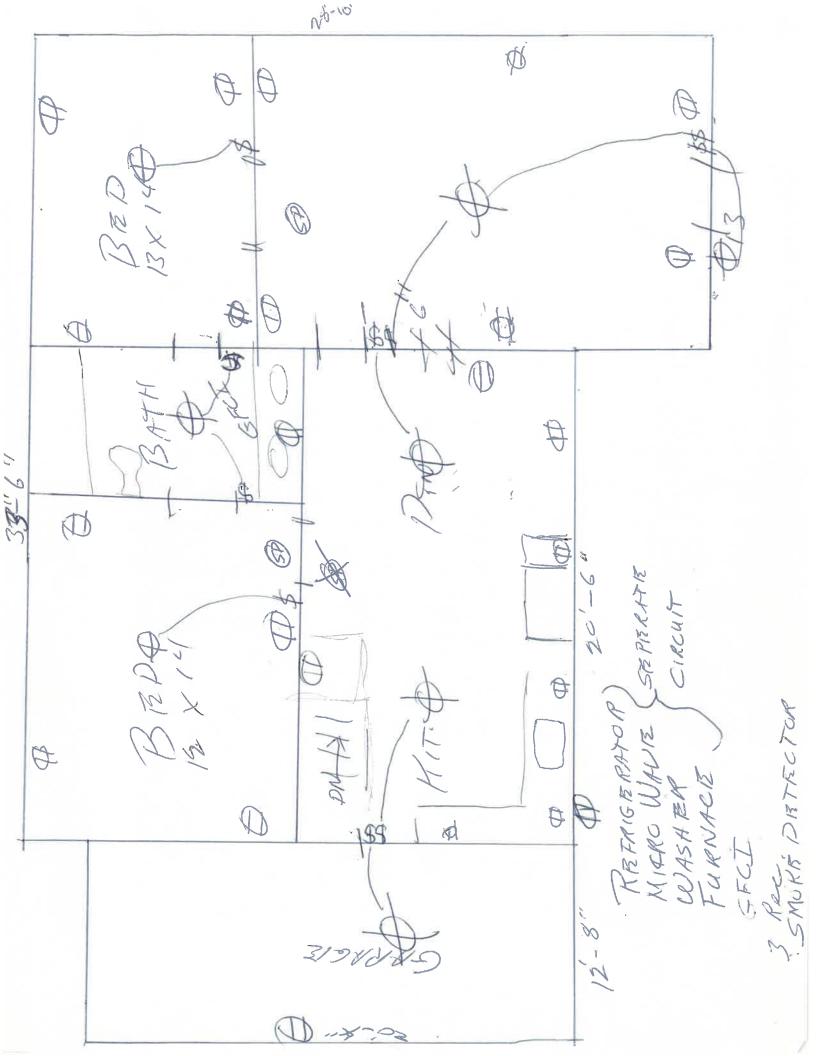
Owner's Name Roberto Huesea	Address 32/5 hort			
Plumbing Contractor Oeune	Telephone No			
Address				
General Contractor Oune	Telephone No			
Address				
Location of Project 403 Thursday	Cost of Project 10,000 50			
Work Information:	**			
No. of dwelling units New Replacement				
Brief description of work: Plumbing				
Samely dwelling	SE J.			
Is water tap required /RS Size / Type of	f Pipe			
s sewer tap required /RS Size Type of Pipe				
ype of Water Distribution pipe				
Type of Drainage, Waste and Vent Pipe PVC				
Size of main building drainSize of m	main vent pipe 3 "			
Water closets Bathtubs No. Trap Size	Shower No. Trap Size			
Lavatories / No. Trap Size Kitchen Sink / Trap	No. Trap Size			
No. Trap Size Clothes Washer No. Trap	Other No. Trap Size			
ll installations are subject to plumbing tests and/or inspe				
Pate ///19/85 Applicant's Signature	Roberts Lapresca			

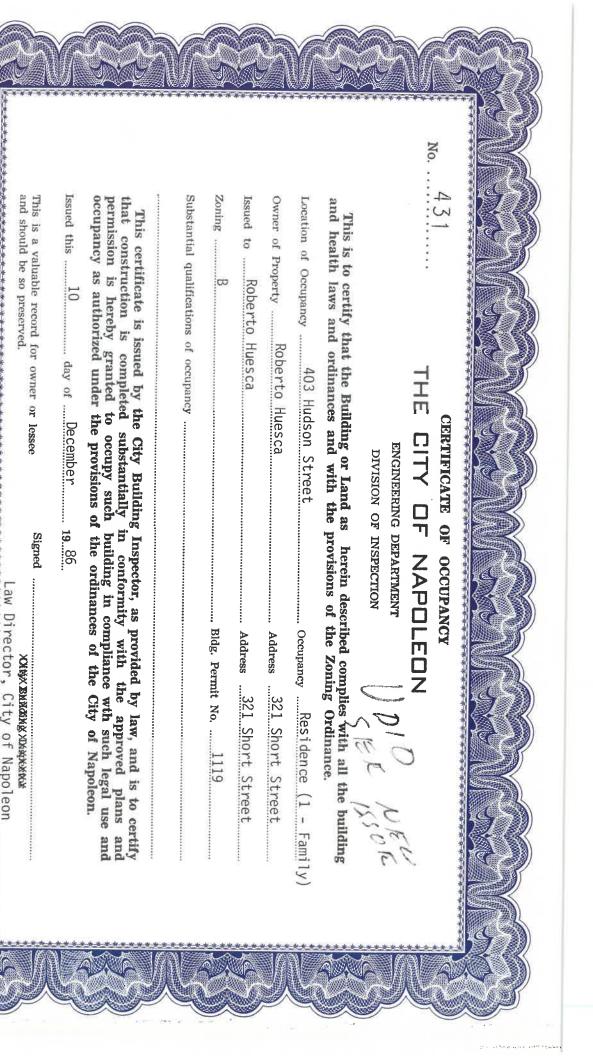
100 run 7-28-76

CITY OF NAPOLEON BUILDING INSPECTION DEPARTMENT APPLICATION FOR HEATING PERMIT (PLEASE PRINT OR TYPE)

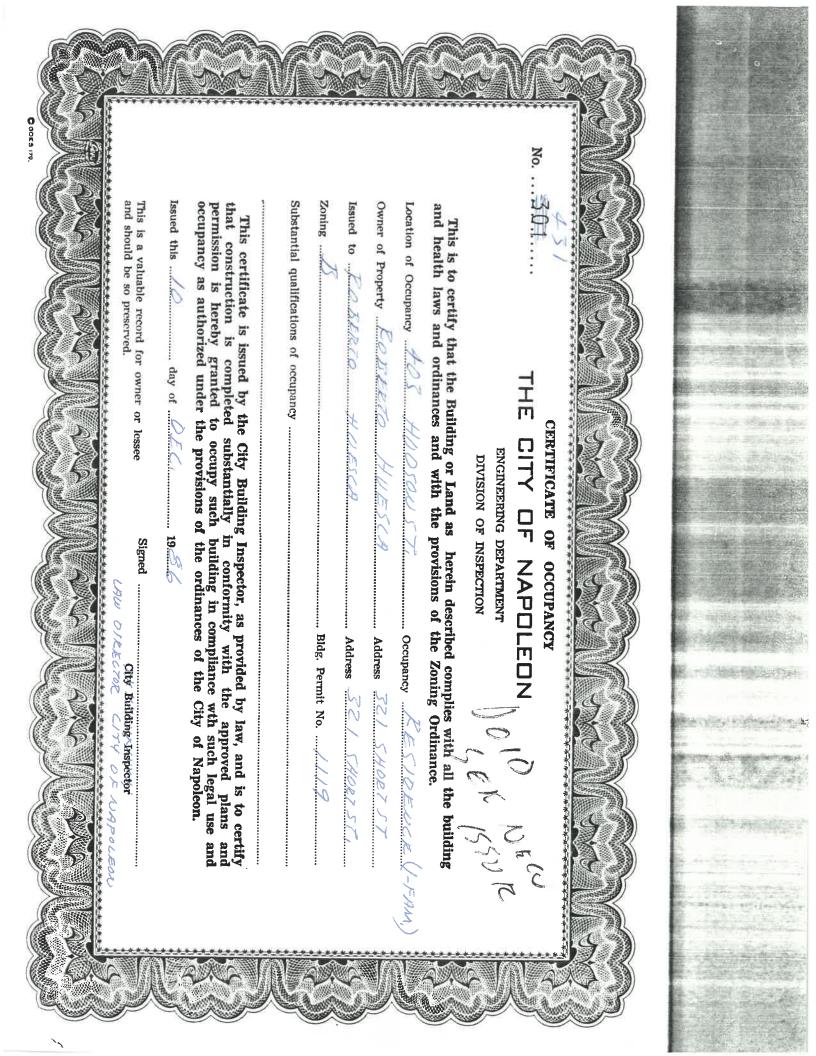
The undersigned hereby makes application for the installation, repla or alteration of a heating system or device as herein specified, agr to do all such work in strict accordance with the City of Napoleon's adopted Mechanical Code for 1, 2 and 3 Family Buildings.

adopted Mechanical Code for 1, 2 and 3 Family Buildings.
Owner's Name tolera Harsch Address 35/ SHORT
Contractor's Name Owner Address Tel
BUILDING INFORMATION:
Single Family Double Family Multiple New Construction
Addition Remodel Replacement No. of Stories
DESCRIPTION OF WORK
Heating System - Warm Air Hot Water Stoom
Unit Heaters Unit Cas Hortons
Forced Paris
No. of Thermostatical Heating ZoneRadiant
Hot Water - One Pipe Two Pipe Series Loop
Electric Heat - No. of Circuits Other
Total Heat Loss of Area to be Heated Rated Capacity of Furnace/Boiler
Rated Capacity of Furnace/Boiler
No. of Furnaces No. of Hot Air Runs
No. of Hot Water Radiators Type of Fuel _GAS
Heating Units Located: Crawl Space Floor Level Suspended
Roof or Exposed to Outside Air Attic Other Basement
APPLICATION FOR PERMIT SHALL BE ACCOMPANIED BY TWO COMPLETE SETS OF FINCLUDING: LOCATION OF FURNACE OR UNIT HEATERS AND SIZE AND LOCATION FEEDER DUCTS AND RETURN AIR DUCTS. ALL PLANS SHALL BE DRAWN TO SCALE
ESTIMATED COST OF COMPLETED PROJECT:
DATE 11/19/85 APPLICANT'S SIGNATURE Policity L. glusica





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No. and should be so preserved. This is a valuable record for owner or lessee that construction is Owner of Property occupancy as authorized under the provisions of the ordinances of the City of Napoleon. Substantial qualifications of occupancy permission is hereby Location of Occupancy This certificate is issued by the City Buildin This is to certify that the Building or Land as herein described/complies with all the building day of December 19 86 completed substantially Roberto Huesca granted ordinances and with the 403 Hudson Street aka to occupy such CERTIFICATE OF OCCUPANCY CITY OF ENGINEERING DEPARTMENT DIVISION OF INSPECTION provisions of the Zoning Ordinance. Signed ... building in compliance wth such legal use and h conformity with inspector, as provided by law, and is to certify NAPOLEON Nuclear Street Residence (1 - Family) Address ... Bldg. Permit No. within the policy the approved 321 Short Street

O GOES 179.	* * * * * * * * * * * * * * * * * * *	No.	
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This certificate is issued by the City Building that construction is completed substantially permission is hereby granted to occupy such occupancy as authorized under the provisions of Issued this 10 day of December This is a valuable record for owner or lessee and should be so preserved.	Location of Occupancy 403 Hudson Street Owner of Property Roberto Huesca Issued to Roberto Huesca Zoning B Substantial qualifications of occupancy TAIS CE	THE CITY OF ENGINEERING DIVISION OF This is to certify that the Building or Land as and health laws and ordinances and with the	
City Building substantially is occupy such to provisions of ecember	Street a	TIFICATE ITY C ENGINEERI DIVISION g or Land d with th	T
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UAW-GM LEGAL SERVICES PLAN

201 E. Second Street • Defiance, Ohio 43512 • (419) 782-2253

AL ALBRIGHT Managing Attorney

CHARLON K. DEWBERRY Supervising Attorney

April 16, 1986

COPY

REBECCA S. FOX
PETER G. OVERSTREET
JOHN D. HARNISHFEGER
DEBORAH K. SHUGAR
Staff Attorneys

Keith Muehlfeld, Esquire Attorney at Law 555 Monroe Street Napoleon, Ohio 43545

Re: Roberto Huesca

Our File No. 85-367-1463

Dear Mr. Muehlfeld:

I have been advised by my client that the inspection department of Napoleon is continuing to harass and give my clients problems with regard to the Hudson Drive property. It was my understanding that once the council had made its decision to allow the Huescas to remodel the Hudson Drive property into a single family dwelling that the City would cooperate with that effort. It was also my understanding that once the permits were issued and the necessary release was signed by my clients that the City would make its inspections according to the applicable building, zoning, and housing codes for the City of Napoleon.

My clients have advised me that they have run into difficulty in getting the City inspectors to do their job; to wit, they have refused on several occasions to come out to do their inspections.

I have a hard time understanding why a paid public employee, who has a specific job function, can refuse, or is able to refuse to execute his job responsibilities. My clients are not preventing the City department from inspecting the Hudson Drive property; in fact, they are calling and requesting that the City make the necessary inspection.

It is also my understanding that Mr. Heyman has verbally advised the City inspection department as to the specific things that the Huescas are to do in order to remodel the property. He

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Keith Muehlfeld April 16, 1986 Page 2

has also set forth general guidelines with regard to his requirements and the code requirements in his letter to me of March 31, 1986, of which you have a copy.

I would appreciate it very much if you would please discuss this matter with the City Department of Inspection, so that we no longer will have any problems concerning the Hudson Drive property. If there is something additional which the City needs from my client, I request that you contact me. If I do not hear from you, I shall assume that no further documentation is needed from my clients, and the City will stop harassing them. If the harassment continues, I shall advise my clients to take whatever legal steps are necessary in order to protect their rights.

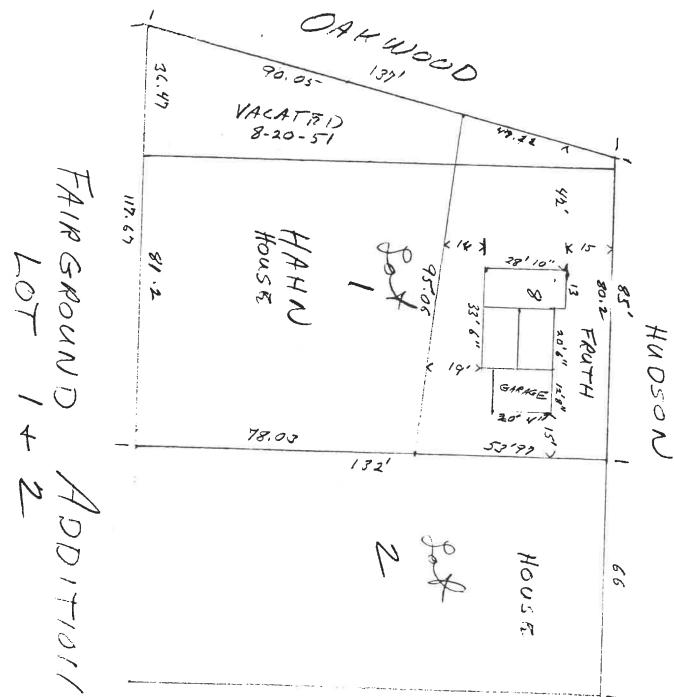
Sincerely,

Charlow K. Dewberry /4 CHARLON K. DEWBERRY

Attorney at Law

CKD: jf

Mr. and Mrs. Huesca



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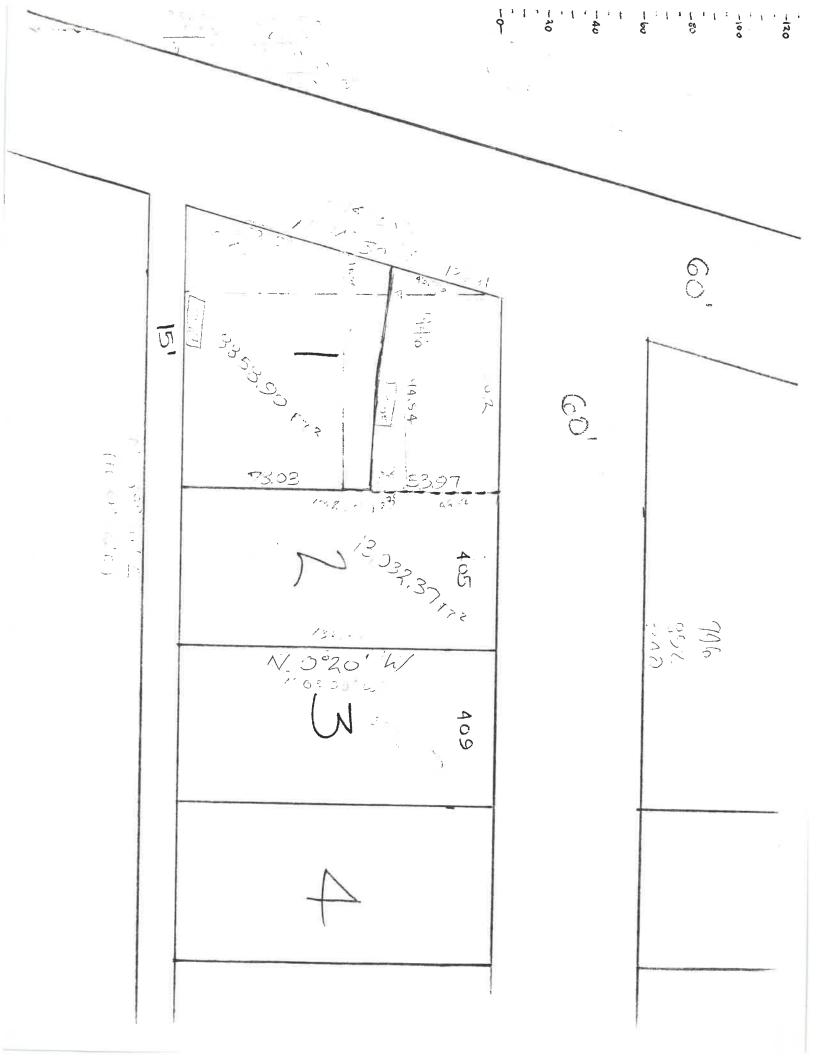
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1 Hudson Drive

Site Inspection made 29Nov85 1:15 - 3:30 pm by Paul Buehrer on permission of Citations of 1983 CABO One and Two Family Dwelling Code Mr. and Mrs. Huesca

BUILDING PLANNING

R-210 PRIVATE GARAGES

R-210.2 SEPARATION REQUIRED

One-hour fire wall must be applied to garage side of wall

FOUNDATIONS

R-301 GENERAL

R-301.2 REQUIREMENTS

The foundation must accomodate all live, dead, and other loads and all lateral loads

Footer must be installed

R-302 MATERIALS

R-302.1 STANDARDS

Materials for foundations and basement walls must be reasonably safe and meet standards

Original pour was made containing miscellaneous masonry articlus (Exhibit A) included in bottom of to take up space and save material

This procedure destroys the continuity of the pour

The original poured wall must be corrected Several concrete block contain web fractures In crawl space to west, these must be replaced Foundation has settled (South face of brick to west has longitudinal fractures)

R-303 FOOTINGS

All exterior and bearing walls shall be supported on footings extending below the frost line

32" footer must be installed in crawl spaces and slab floor Bearing surface shall be 12" larger than wall width

R-309 CRAWL SPACE

R-309.1 VENTILATION

South East crawl space requires $0.75\ \mathrm{Sq}\ \mathrm{Ft}$ ventilation North East crawl space requires 0.75 Sq Ft ventilation West crawl space requires 2.5 Sq Ft ventilation

WALL CONSTRUCTION R-402 WOOD

R-402.3 CONSTRUCTION

Exterior walls must be constructed in accordance with Figure No. R-402.3.1

Blocking is required in East and West end of joists or 1"x4" Ribbon is cut into stud

 $\frac{1}{2}$ " Bolts at 6' oc imbedded into walls 7" as anchors

R-402.7 FIRESTOPPING

Required at floor level at top of concrete walls Required at ceiling level

WALL COVERING

R-501 GENERAL

R-501.1 APPLICATION

Construction must conform with material, test, and construction standards

Some sheathing may contain too high moisture content

R-401.2 Installation

Products sensitive to adverse weather shall be protected Studs may contain too high moisture content

1 Hudson Drive (Page Two)

WALL COVERING

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls must be covered with approved materials Moisture content of sheathing

R-503.4 MASONRY VENEER GENERAL

Masonry veneer must be installed in accordance with Figure No. R-503.4

Metal ties must anchor brick to stud wall R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved metal ties spaced 24" horizontally and $19\frac{1}{2}$ " vertically

R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant siding

This may not have been applied soon enough to prevent water damage

FLOORS

R-601 GENERAL

R-601.2 REQUIREMENTS

Floors must be constructed in accordance with Figure No. R-601.2

Header must be installed at stairwell

R-602 DIMENSION LUMBER

R-602.4 LATERAL SUPPORT AND BRIDGING

Joists must be supported at ends by blocking

R-602.8 HEADERS

Openings shall be framed with a header

ROOF-CEILING CONSTRUCTION

R-701 GENERAL

R-701.1 APPLICATION

Roof system must conform to material, test, construction, and design standards, Figure R-702.3

See proposed truss diagram

R-702 DIMENSION LUMBER

R-702.1 IDENTIFICATION AND GRADE

Material must be utility grade lumber or better

R-702.2 FRAMING DETAILS

Ridge boards shall be 1" nominal thickness and not less in depth than the cut end of the rafter $\,$

Ridge board on garage must be replaced, I will waive this requirement for main structure

R-702.3 (FIGURE) FRAMING DETAILS

2"x4" purlin to be continuous between braces

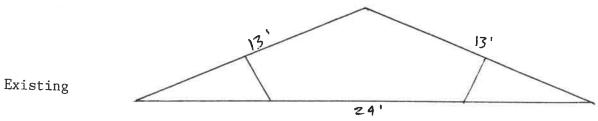
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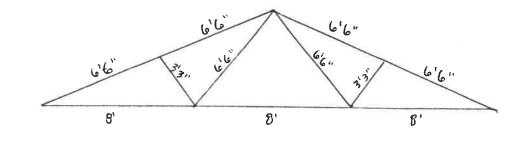
See proposed truss diagram

* 1 Hudson Drive (Page Three) PROPOSED TRUSS DIAGRAM

Proposed

GARAGE . 21'S Existing 5/8"x4" 2"x4" 16" oc 2"x6" 36" oc	Ridge Rafter Joist Purlin Brace	Code Section R-702.2 7-M 7-D R-702.3Fig R-702.3Fig	Required 1"x6" 2"x6" 16" oc 2"x8" 16" oc 2"x4" 2"x4" 48" oc	Notes Def=0.53, Span=7'3" Def=1.05, Span=16'1"
Existing		10'874"	10' 6/4"	
	¥	a'	4'	
Proposed	6' 8 ^y 4*	2'1"	2'4" 6'- 8'4"	
MAIN STRUCTURE	24' Span	5' Peak		
Existing 1"x4" 2"x4" 16" oc 2"x6" 16"-18" oc	Ridge Rafter Joist Braces	Code Section R-702.2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	Required 1"x6" 2"x4" 16" oc 2"x6" 16" oc 2"x4" 32" oc	Notes Def=0.80, Span=6'3" Def=1.20, Span=12'0"





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1 HUDSON DRIVE

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Page 1 of 3

Site inspection conducted Fri29Nov85 1:15 - 3:30 pm by Paul Buehrer upon request of City Manager and permission of Mr. and Mrs. Huesca Site inspection made ThuO5Dec85 1:15 - 1:45 pm by John Helberg and Paul Buehrer for confirmation of citations from previous inspection

Citations of 1983 CABO One and Two Family Dwelling Code All Citations shall be corrected prior to issuance of Certificate of Occupancy Next permit shall include correction of foundation

BUILDING PLANNING

R-210 PRIVATE GARAGES

R-210.2 SEPARATION REQUIRED

 $\frac{1}{2}$ " drywall shall be applied to garage side of separation wall

FOUNDATIONS

R-301 GENERAL

R-301.2 REQUIREMENTS

The foundation shall accomodate all live, dead, and other loads and all lateral loads

Footer shall be installed

R-302 MATERIALS

R-302.1 STANDARDS

Materials for foundations and basement walls shall be reasonably safe and meet standards

Original pour was made containing miscellaneous masonry articles included in base of pour to take up space and save material

This practice destroys the adhesiveness of the pour

The original poured wall shall be corrected

Several concrete block contain web fractures

In crawl space to west, these block shall be replaced Foundation has settled (South face of brick to west, and North face of brick to east contains longitudinal fractures)

R-303 FOOTINGS

All exterior and bearing walls shall be supported on footings extending below the frost line

32" footer shall be installed in crawl spaces and slab floor Bearing surface shall be 12" larger than wall width

WALL CONSTRUCTION

R-402 WOOD

R-402.3 CONSTRUCTION

Exterior walls shall be constructed in accordance with Figure No. R-402.3.1 $\frac{1}{2}$ " anchor bolts at 6' oc imbedded into walls 7"

R-402.7 FIRESTOPPING

Required at floor level at top of concrete walls Required at ceiling level

WALL COVERING

R-501 GENERAL

R-501.1 APPLICATION

Construction shall conform with material, test, and construction standards Exterior and interior sheathing shall be removed and replaced

R-501.2 INSTALLATION

Products sensitive to adverse weather shall be protected Studs may contain too high moisture content

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls shall be covered with approved materials Sheathing shall be removed and replaced

WALL COVERING (CONT)

R-503 EXTERIOR COVERING (CONT)

R-503.4 MASONRY VENEER GENERAL

Masonry veneer shall be installed in accordance with Figure No. R-503.4 Metal ties shall anchor brick to stud wall

R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved metal ties spaced 24" horizontally and 19-9/16" vertically, or

16" horizontally and 29-1/4" vertically

R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant siding This may not have been applied soon enough to prevent moisture damage

FLOORS

R-601 GENERAL

R-601.2 REQUIREMENTS

Floors shall be constructed in accordance with Figure No. R-601.2Header shall be installed at stairwell, same size as floor joists R-602 DIMENSION LUMBER

R-602.2 ALLOWABLE SPANS

TABLE 6B ALLOWABLE SPANS FOR FLOOR JOISTS - 30 LB LIVE LOAD In SE bedroom with 12' span, joists shall be 2"x8", 16" oc

In SW bedroom with 14' span, joists shall be 2"x10", 16" oc TABLE 6A ALLOWABLE SPANS FOR FLOOR JOISTS - 40 LB LIVE LOAD In rooms with 12' span, joists shall be either 2"x10", 16" oc, or 2"x8", 16" oc with bridging

In rooms with 14' span, joists shall be either 2"xl2", 16" oc, or 2"x10", 16" oc with bridging

R-602.4 LATERAL SUPPORT AND BRIDGING

Bridging shall be 1"x3" diagonal wood, approved metal, or 2x solid wood R-602.7 FLOOR FRAMING

TABLE R-402.3.2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

Two sheets of flooring in NE end of structure shall be fastened in place properly

Using 6d nails or 16 ga staples, 6" spacing at edges and 10" spacing on intermediate supports

R-602.8 HEADERS

Openings shall be framed with a header

R-605 PLYWOOD

R-605.2 ALLOWABLE SPANS

TABLE R-602.2.4 MINIMUM THICKNESS FOR PLYWOOD COMBINATION SUBFLOOR-UNDERLAYMENT

 $\frac{1}{2}$ " plywood shall be added to subfloor to meet 3/4" minimum thickness R-605.3 INSTALLATION

TABLE R-402.3.2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS Using 6d nails or 16 ga staples, 6" spacing at edges and 10" spacing on intermediate supports

ROOF-CEILING CONSTRUCTION

R-701 GENERAL

R-701.1 APPLICATION

Roof system shall conform to material, test, construction, and design standards, Figure R-702.3

Adequate plans are required concerning roof trusses

R-702 DIMENSION LUMBER

R-702.1 IDENTIFICATION AND GRADE: 3

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Material shall be utility grade lumber or better

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ROOF-CEILING CONSTRUCTION (CONT) R-702 DIMENSION LUMBER (CONT)

R-702.2 FRAMING DETAILS

Ridge boards shall be $1^{\prime\prime}$ nominal thickness and not less in depth than the cut end of the rafter

All ridge boards shall be replaced with 1"x6" lumber

R-702.3 FIGURE FRAMING DETAILS

2"x4" purlins to be continuous between braces

2"x4" braces to be 32" oc

Adequate plans are required concerning roof construction

R-702.8 HEADERS

TABLE R-402.6 MAXIMUM ALLOWANCE SPANS FOR HEADERS SUPPORTING WOOD

Garage header shall be 2-2"x12" lumber

Window headers shall be 2-2"x6" for up to 4' spans, or 2-2"x8" for 4' to 6' spans

R-402.3.2 FIGURE FRAMING DETAILS

Window framing shall be altered to match figure for header support

Any and all items may be appealed to the Board of Building Appeals

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1 Hudson Drive Site Inspection made 29Nov85 1:15 - 3:30 pm by Paul Buehrer on permission of Citations of 1983 CABO One and Two Family Dwelling Code Mr. and Mrs. Huesca BUILDING PLANNING R-210 PRIVATE GARAGES R-210.2 SEPARATION REQUIRED One-hour fire wall must be applied to garage side of wall FOUNDATIONS R-301 GENERAL R-301.2 REQUIREMENTS The foundation must accomodate all live, dead, and other loads and all lateral loads Footer must be installed R-302 MATERIALS R-302.1 STANDARDS Materials for foundations and basement walls must be reasonably safe and meet standards Original pour was made containing miscellaneous masonry articlus (Exhibit A) included in bottom of to take up space and save material This procedure destroys the continuity of the pour The original poured wall must be corrected Several concrete block contain web fractures In crawl space to west, these must be replaced Foundation has settled (South face of brick to west has longitudinal fractures) R-303 FOOTINGS All exterior and bearing walls shall be supported on footings extending below the frost line 32" footer must be installed in crawl spaces and slab floor Bearing surface shall be 12" larger than wall width R-309 CRAWL SPACE R-309.1 VENTILATION South East crawl space requires 0.75 Sq Ft ventilation North East crawl space requires 0.75 Sq Ft ventilation West crawl space requires 2.5 Sq Ft ventilation WALL CONSTRUCTION R-402 WOOD R-402.3 CONSTRUCTION Exterior walls must be constructed in accordance with Figure No. R-402.3.1 Blocking is required in East and West end of joists or 1"x4" Ribbon is cut into stud $\frac{1}{2}$ " Bolts at 6' oc imbedded into walls 7" as anchors R-402.7 FIRESTOPPING Required at floor level at top of concrete walls Required at ceiling level WALL COVERING R-501 GENERAL R-501.1 APPLICATION Construction must conform with material, test, and construction standards Some sheathing may contain too high moisture content R-401.2 Installation Products sensitive to adverse weather shall be protected

Studs may contain too high moisture content

WALL COVERING

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls must be covered with approved materials Moisture content of sheathing

R-503.4 MASONRY VENEER GENERAL

Masonry veneer must be installed in accordance with Figure No. R-503.4

Metal ties must anchor brick to stud wall

R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved metal ties spaced 24" horizontally and $19\frac{1}{2}$ " vertically

R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant siding

This may not have been applied soon enough to prevent water damage

FLOORS

R-601 GENERAL

R-601.2 REQUIREMENTS

Floors must be constructed in accordance with Figure No. R-601.2

Header must be installed at stairwell

R-602 DIMENSION LUMBER

R-602.4 LATERAL SUPPORT AND BRIDGING

Joists must be supported at ends by blocking

R-602.8 HEADERS

Openings shall be framed with a header

ROOF-CEILING CONSTRUCTION

R-701 GENERAL

R-701.1 APPLICATION

Roof system must conform to material, test, construction, and design standards, Figure R-702.3

See proposed truss diagram

R-702 DIMENSION LUMBER

R-702.1 IDENTIFICATION AND GRADE

Material must be utility grade lumber or better

R-702.2 FRAMING DETAILS

Ridge boards shall be 1" nominal thickness and not less in depth than the cut end of the rafter $\,$

Ridge board on garage must be replaced, I will waive this requirement for main structure ${\sf T}$

R-702.3 (FIGURE) FRAMING DETAILS

2"x4" purlin to be continuous between braces

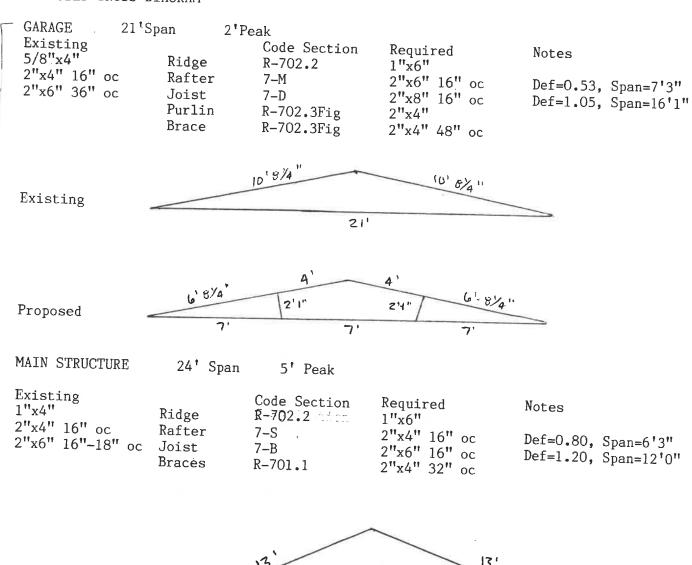
2"x4" braces to be 32" oc

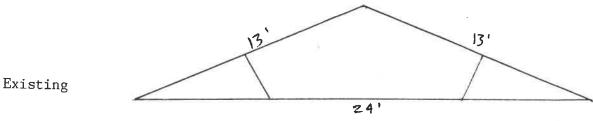
See proposed truss diagram

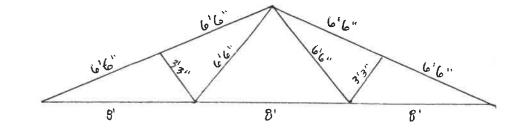
LINDERLATMENT - INSTALL V2" MATERIAL OVER EXISTING - VERBAL AGREEMENT 11-19-85
RICH, PARLETHURSCA

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1 Hudson Drive (Page Three) PROPOSED TRUSS DIAGRAM







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Proposed

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EXISTIN4 24" 6-8/4 PROPOSED CODE EXISTINGL SEC. REQUIRED 5/8"x4" RIDGE 1"x4" R-702.2 DEF = 0.53 2"x4" 160c RAFTER 2"x6" 160c 7-m SPAN = 7'-3" DEF = 1.05 2"x6" 360c 3015T 7-0 2"x8" 160c SPAN = 16'-1" PURLIN R-702.3 FI4 2"x4" BRACE R-702,3FIL 2" x4" @ 48"0c 60" EXISTING 6-100 ROPOSEO 81-0" I 4'-0" CODE FKISTING REQUIRED SEL 1" x 4" RIBUE R-702.2 1" 74" 2"x4" 160c PAFTER 7-5 2×4 160c sen 6'-3" DEF = 1.20 2"x6" 16-180c JOI 57 7-B 256 160c SPAK = 121-0" BURLIN R-702.3 FIG 2×4 BRACE 8-702, SFIG 2"x4" @ 48"00

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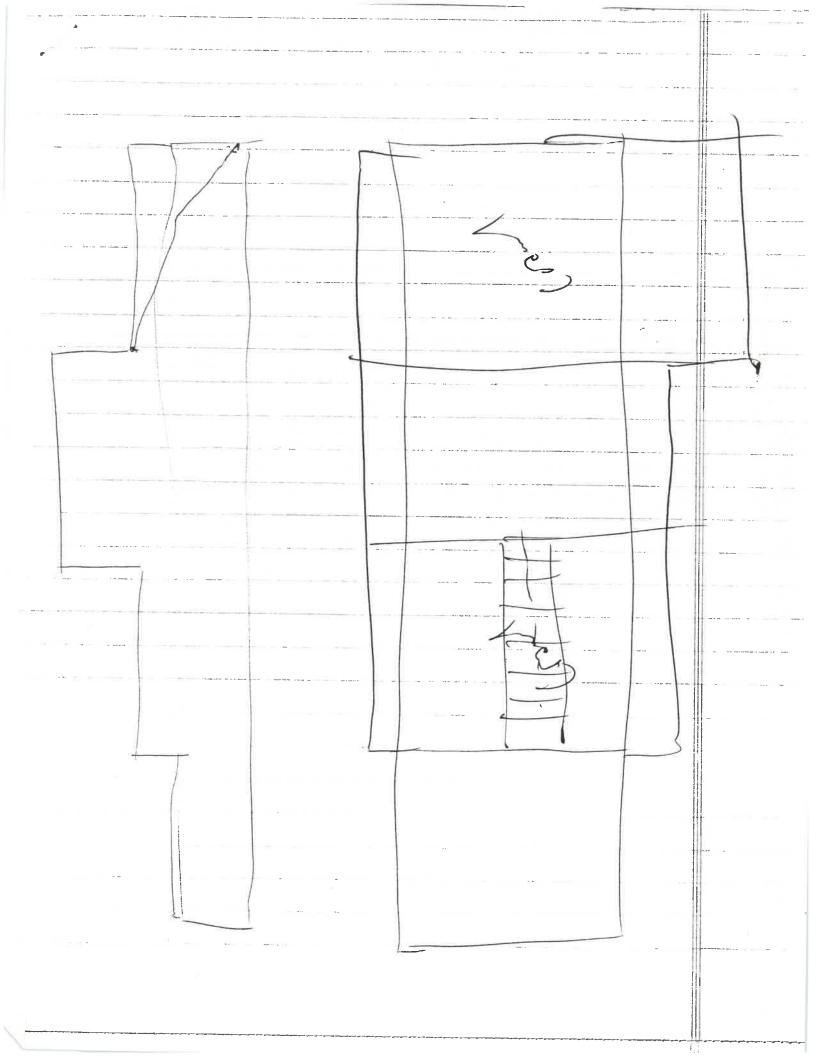
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R-503.4	MASONRY VENISER GENERAL
	IN ACCORPANCE WITH R-503.4
R-503.4.2	ATTACHMONE
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R-503.5	WEATHER PROTECTION
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R-602 A	DIMENSIONAL LUMBER
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ROOF- CEIL	INL CONSTRUCTION
R-701.1	APPLICATION
	DINGUSTRUCTION & DESILY STANDARDS
R-7021	LOENTHELATION & GRADE
R-702.2	FRAMING DETAILS
	PLOLE BOARD - 1" LUMBER NOT LESS IN DEPTH
R-702.3	(FIGURE) FRAMING DETAILS
	PURLIN CONTINUOUS BETWEEN BRACES 7-T
	2" x 4" Braces @ 4'o.c.

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County Auditors Records

Miscellaneous Lot Information

	OTHALION	
Notice	Jones to Fruth	05 Aug 60
Memo	Permission Denied to Burn	08 Aug 60
Permit Application		
Permit No. 48	Construction Addition to Lumbershed	08 Jun 70
Permit No. 10	Construction Concrete	13 Mar 72
Stop Work Order	Terranova to Fruth	02 Dec 75
Recommendation	Johnson to Tandy	28 Apr 78
Notice	Johnson to Fruth	03 May 78
Review	Hayman to Tandy	06 Jun 80
Notice	Hayman to Fruth	12 Jun 80
Letter	Peper to Hayman	17 Jun 80
Letter	Hayman to Peper	18 Jun 80
Permit	Sewer Tap	03 Nov 80
Letter	Buehrer to Huner Realty	07 Dec 85
Review to Code	Richard Hayman	31 Jul 85
Permit 1088 and Applications	Building	11 Sep 85
Permit 1119 and Applications	Building, Electric, Plumbing, Heating, Water, Sewer VOIDED	19 Nov 85
Review to Code	Paul Buehrer	29 Nov 85
BOARD OF Z Application for BZA	ONING APPEALS	
Notice of Hearing		10 May 84
Agenda of BZA		29 May 84
Minutes of Meeting of	R7 A	29 May 84
Recommendation		29 May 84
Recommendation	Hayman to BZA	
Agenda of BZA	Hayman to BZA	28 Jun 85
ngenda of bh		09 Ju1 85
Office Visit	Mr. and Mrs. Huesca	29 Nov 85
Office Visit	Mr. and Mrs. Huesca	02 Dec 85
Phone Conversation	Don Bergstedt	03 Dec 85
Phone Conversation	Mrs. Huesca	03 Dec 85
Phone Conversation	Richard Hayman	03 Dec 85
Phone Conversation	Mrs. Huesca	03 Dec 85 04 Dec 85
		04 Dec 80

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UAW-GM LEGAL SERVICES PLAN

201 E. Second Street • Defiance, Ohio 43512 • (419) 782-2253

AL ALBRIGHT Managing Attorney

CHARLON K. DEWBERRY Supervising Attorney

REBECCA S. FOX PETER G. OVERSTREET JOHN D. HARNISHFEGER DEBORAH K. SHUGAR Staff Attorneys

March 25, 1986

Keith Muehlfeld Attorney at Law 555 Monroe Street Napoleon, OH 43545

Re: Roberto Huesca

File No. 85-367-1463

Dear Mr. Muehlfeld:

This letter is to follow up on our recent telephone conversation regarding the above matter. At your request, enclosed please find a copy of my letter to Mr. Richard Hayman, requesting written documentation of the items which he advised Mr. and Mrs. Huesca would have to remodel in the Hudson Street property in order to bring the property up to Napoleon City Standards regarding electrical, plumbing, heating, insulation, and internal structures.

This letter will also serve to confirm our recent conversation that the City Council for the City of Napoleon has agreed to allow my clients to pick up the necessary permits to complete the remodeling of the Hudson Street property.

As discussed, prior to advising my clients to sign any waivers, I would like to review the written language of those waivers. At your earliest convenience, please provide me with a copy of the waiver. Once I have had the opportunity to review it, I will advise my clients as to how they should proceed.

Your attention and cooperation will be greatly appreciated.

Yours truly,

CHARLON K. DEWBERRY Supervising Attorney

CKD: dms

cc: Mr. and Mrs. Roberto Huesca

UAW-GM LEGAL SERVICES PLAN

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DEBORAH K. SHUGAR
Staff Attorneys

March 25, 1986

City of Maumee Division of Inspection 110 East Dudley Maumee, OH 43537

Attention: Richard Hayman

Re: Roberto Huesca My File No. 85-367-1463

Dear Mr. Hayman:

Please be advised that I represent the above-named individual, Mr. Roberto Huesca.

This letter will also serve to confirm the telephone conversation, which you and I had recently, with Attorney Muelhfeld, City Attorney, for the City of Napoleon, Ohio.

After much discussion, the Napoleon City Council has agreed to abide by the recommendations and statements which you have made to the Huescas, concerning the condition of the property situated at 403 Hudson Street in Napoleon, Ohio.

In accordance with that decision, the City will be issuing to Mr. and Mrs. Huesca the necessary permits in order to complete the remodeling of the Hudson Street address.

In the interest of all parties concerned and to avoid any future misunderstandings concerning the statements made by you to Mr. and Mrs. Huesca, we are requesting a written statement from you concerning the exact items which you requested or advised Mr. and Mrs. Huesca would have to remodel in order to bring the Hudson Street property up to code, with regard to plumbing, heating, electrical work and any other matters.

Your prompt attention in respnding to this request will be greatly appreciated. If you have any questions, please feel free to

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City of Maumee Page Two March 25, 1986

contact me at the number or address listed above. If I am unavailable when you call, please leave a number where you can be reached.

Yours truly,

CHARLON K. DEWBERRY Supervising Attorney

CKD:dms

cc: Mr. and Mrs. Roberto Huesca cc: Keith Muehlfeld

TENTATIVE AGENDA FOR REGULAR COUNCIL MEETING

April 21, 1986

8:00 P. M.

1. Approve minutes.

2. Discussion with Ohio Gas Co. representatives.

3. Discussion with County Engineer.

Survers 4. Action on Pickup Truck bids.

Sayock-known 5. Action on One-Ton Dump Truck bids.

Yes 6. Third reading Ordinance to bid 1986 Street Resurfacing.

Third reading Ordinance amending Electrical Code. 455 -8. Third reading Resolution adopting Non-Uniform Act

State Relocation Assistance.

Action on Change Order No. 2 for Fire Station Repair Contract.

YES 10. Second reading Nuisance Motor Vehicle Ordinance.

Passeo By Maria J-11. Discussion and/or action on request for liquor permit at 617 North Perry Street.

755 —12. Ordinance to bid sale of 7 Gang Mower.

-13. Ordinance to approve 1986 Police Contract.

No Action 14. Discussion and/or action concerning vacation of an alley.

3a. —15. Discussion and/or action concerning moving of City Offices to the Old Hospital Building.

16. Approve bills.

17. Good of the City.

18. Board of Building Appeals appointments.

19. Recreation Board appointments.

MEMORANDUM

TO: Mayor and Members of City Council

FROM: Rupert W. Schweinhagen, Clerk-Treasurer www.

SUBJECT: Truck Bids

DATE: April 18, 1986

PICKUP TRUCK

The City received two bids for a pickup truck. Derrow, Inc. - 1986 Dodge D-150 = \$8,676.00, Snyder Chevrolet-Olds Co. - 1986 Chevrolet = \$8,219.56. Derrow, Inc. not a valid bid only had 5% bond amount, bid requested 10%. Both meet specs except the Derrow, Inc. bid noted that the Forest Green color is not available. The Snyder Chevrolet-Olds Co. is the low and valid bid. Price includes trade-in of a 1951 GMC Truck.

ONE-TON DUMP TRUCK

The City received two bids for the one-ton dump truck:

Derrow, Inc. with Heil Dump \$14,801.00 Snyder Chevrolet-Olds with Kalida Dump 15,477.57 Snyder Chevrolet-Olds with Perfection Dump 15,083.57

The Derrow, Inc. bid did not have a bid bond or certified check and is not a valid bid. The Snyder Chevrolet-Olds bids are valid bids, however, the bid with the perfection dump body does not meet specs. The only valid bid is the Snyder Chevrolet-Olds bid with the Kalida dump body at a bid price of \$15,477.57. Bid prices includes trade-in of a 1957 Dodge Ambulance.

Jim Angelo Ford presented a bid after the bid opening time of 12:00 Noon and could not be considered.

RAH:skw

Ster 11 was 12 apr pump

REAL HOUR WATE HOLT - STREAM CHROCE GET STEERING

Does 1500 Smar Com more = season

RELEASE OF ALL CLAIMS

Pursuant to the terms of a settlement reached with the City of Napoleon, Ohio and for good and valuable consideration, the receipt of which is hereby acknowledged, the undersigned, on behalf of themselves, their heirs, executors, administrators, and assigns, and on behalf of any other persons hereafter claiming any rights of title, occupancy or possession by, through or under them, as to the property located at 1 Hudson Drive, Napoleon, Ohio, do hereby fully release and forever discharge the City of Napoleon, Ohio, its officials, officers, employees, agents, successors and assigns from all rights, claims, suits, and causes of action which the undersigned and their above-mentioned successors now have or may have in the future against the City of Napoleon, Ohio, its officials, officers, employees, agents, successors and assigns, arising out of in any way the issuance of building permits for the property located at 1 Hudson Drive, Napoleon, Ohio.

The undersigned have read and fully understand the terms of this Release of All Claims.

IN WITNESS WHEREOF, We have hereunto set our hands this 2nd day of March, 1986.

Signed in the presence of:

Charlon & Sweening

Roberto L. Huesca

Delaah K Shugan

Ella Huesca

STATE OF OHIO Defiance County, ss.

Before me, a Notary Public in and for the State of Ohio, personally appeared Roberto L. Huesca and Ella Huesca, who acknowledged that they did sign the foregoing instrument and that the same is their free act and deed.

In Testimony Whereof, I have hereunto set my hand and official seal at Defiance, Ohio this ______ day of March, 1986.

Notary Public, State of Ohio.

DEBORAH K. SHUĞAR ATTORNEY at LAW

Notary Public — State of Ohio My Commission has no expiration date

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MRS, HUESCA

SEE NOHO HECTORG WHEN YOU COME INI

AS PER MY CONDERSATION WITH NOHN THE SEWER TAP FEE IS DOE.

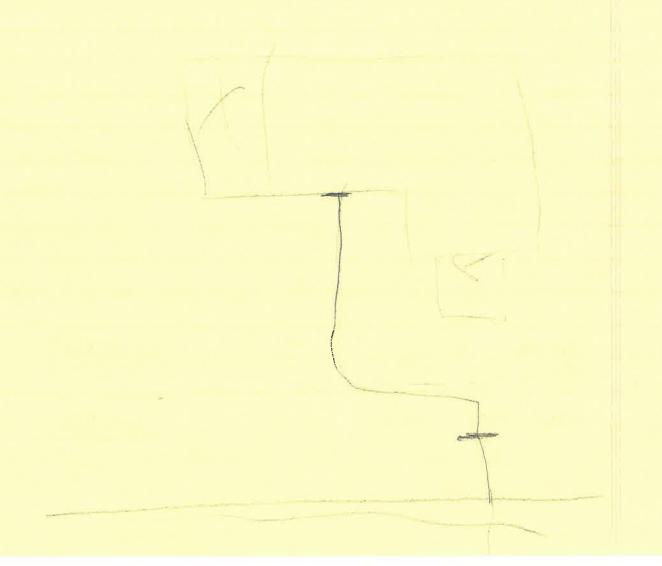
AS YOU INDICATED THE WATER TAP WAS EXISTING AND IS NOT REQUIRED,

> 6-25-86 1:00 PM,

RECEIPT NO

TOTAL DUR # 2960 3-27-86 BALLANCK OUR

125.00



DATE

NOTICE OF PUBLIC HEARING

Please take notice:

A Public Hearing will be held by the Board of Zoning Appeals of the City of Napoleon, Ohio in the Council Chambers of the City Building located at 255 W. Riverview Avenue, on May 29, 1984 at 4:30 P.M. to consider the following item:

A request for variance to the setback requirements, accessory structure requirements of Napoleon Zoning Code by Lloyd R. Fruth, Executor, 557 W. Main Street Napoleon, Ohio for the property at 405 Hudson Street and more particularly known as Lot No. 1 and 2 in Susan J. Rowan's Fair Ground Addition to said City of Napoleon, LESS AND EXCEPT THEREFROM the following described parcel: The south part of Lot 1 in Fair Ground Addition and a parcel of land between the west line of said Lot 1 and the east line of Adrian Pike in the City of Napoleon, Henry County, Ohio.

All persons desiring to speak for or against said variance, may appear at the Hearing and be heard thereon.

CHAIRMAN OF THE BOARD OF ZONING APPEALS CITY OF NAPOLEON. OHIO

BOARD OF ZONING APPEALS REVIEW BY RICHARD G. HAYMAN

Re: Variance request for 405 Hudson St. Lloyd Fruth.

Back on August 5, 1960, Mr. Edward Fruth of 435 Filmore was sent a letter from Robert C. Jones the Building Commissioner at that time, which stated that Mr. Fruth was in violation of Ordinance 404 of the Napoleon Bu91ding Code. The letter said: Your attention is called to Chapter 1202 Section 14 of the Ohio Building Code which describes the relocating of buildings. Als on an inspection tour of your building site on Hudson Stret I found that your basement walls do not have a footer which is in violation of Chapter 1211 Section 202 of the O.B.C.

It is the feeling of this office that you should come in and acquaint yourself with the proper methods and procedures affecting the relocating of a home under the new building code. Signed Robert C. Jones

Aug. 8,1960 a note was put in the file that Mr. Fruth came in to see Earl Campbell who was the Fire Inspector at that time and wanted to burn the structure on Hudson Drive. Permission was denied.

The next time activity went on at Hudson Drive was around November 7,1960 when a building permit was issued by Robert Jones. Also Plumbing, Electrical and Heating were included in that permit. The permit was for a new residence, but wether it was for the corner structure or not. I, don't think it was because the dimensions on the permit, is not the same as those of the structure, and the permit was for a $1\frac{1}{2}$ story structure which the structure thats there is a 1 story structure.

On June 8, 1970, Carl Engel issued a permit for a addition to a lumber shed which I'm assuming the structure was being used as a lumber shed. Nothing must have been done at that time, because another permit was issued on March 13,1972 and that permit does not say what it was for but it was written at the bottom that concrete was poured on April 20,1972.

The next correspondence was on December 2,1975 when Thomas Terranova sent Edward Fruth a letter. That letter stated that the previous two permits were null and void as of March 13, 1974 and in accordence with the City Code, he was required to to extend the work completion time and recissue a new building permit. In order to do that, they needed a new application, site plan with lot demension, size of structure, setback lines and square feet of lot. Also he asked that it be noted on the site plan what the use of the structure would be. There had been a stop work order issued on November 24,1975. On the building permit it was noted that the structure was to be used as an accessory building—tool shed with an attached garage. Also noted was that the building was not to be used for 1,2,& 3 Family Dwelling. There was also a note at the bottom that this permit would become null and void on 12/9/77.

On April 28,1978, Mr. Robert Johnson and John Fruchey, sent a memo to the City Manager, Alan Tandy. In that memo, they stated that they had done an inspection of the building on April 26,1978. There inspection revealed that the structure was not in good condition and that the interior was littered with debris and junk. Wiring was bad and there conclusion was that the building should be considered a nuisance under our ordinances. A copy of this memo is enclosed in your packet.

On May 3,1978, Robert Johnson sent a letter to Lloyd Fruth who is the beneficery along with Virgil, Melvin and Larry. Edward had passes away. That letter stated that Lloyd should contact the building inspector because they had received complaints on the building and considered it a hazard to the community, there was no notes that Mr. Fruth came in, but I think he did come in.

On June 6,1980, I sent a memo to Mr. Tandy the City Manager and stated that on June 3,1980, I had viewed a man installing asphalt shingles to the side of the structure. I am enclosing a copy of that memo of June 6,1980, plus a copy of the plot plan that I did.

On June 12,1980, I issued a letter to Mr. Lloyd Fruth about the work going on and that there had not been a permit issued for any work and also the zoning Regulations on this property. This letter is also enclosed.

I then received a letter from Edward Peper, Mr. Fruth's Lawyer. Attached is that letter. Mr. Peper states his thoughts on the property.

On June 18,1980, I answered Mr. Peper and that letter is enclosed. My possition to Mr. Peper was that the set backs of the structure wether it was a main structure or an accessory structure, does not meet the code. In the August 5,1960 letter it stated that there was no footer under the building, and there was no evedence in my files that the footer was ever installed. Within the last year we have had a number of requests for variance to the front yard setback regulations. If we keep granting these requests, we may as well change the setback requirements to a lesser distance. In Mr Fruths instance, the building was in violation right from the begining and Edward or Lloyd do not seem to want to correct the situation. No where within the code does it allow for an accessory building to be located in front of the main structure on a lot. In the letter of June 12,1980, we asked that the building be removed within 30 days. The building was not removed and the hazard to the community remains to this day. The structure sets 11 ft. 10 in. from the front property line and lot one that it sits on is only 3,846.39 sq. ft. which is 2,153.10 sq. ft. under what is required by code.

When answering your finding of fact on page 21 of the Zoning Code, your findings should be as follows:

- 1. There are no exceptional or extraordinary circumstances or conditions to the property that apply generaly to other property in the same vicinity or district.
- 2. The variance is not necessary for the presevation and enjoyment of a substantial property right possessed by other property in the vicinity. Because the rear half of lot 1 was sold of many years ago which left the front half undersized, this does not make it a hardship to the property owner because it automatically joins the front half of lot 1 with lot two since there under one ownership making both lots after joining conform with the size regulations. The original owner made the mistake in the begining by putting the structure there without a permit or a footer.
- 3. The granting of the variance could at a later date be detrimental to the public because Hudson St. is a dead end street at the present time and if the property to the east of the dead end were developed, the street would have to be widened, that would put the house about fifteen feet from the edge of the road.
- 4. Because that area is a B Residential District, the granting of the variance could alter the land use characteristics and diminish property values. Because of the age of the house to the east, what I would request of Mr. Fruth or any one that purchased the property, would be to demolish the east house and move the west one or to the other lot

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I feel the City has put up with this problem long enough and something should be done to solve this problem. The administrations recomendation would be for denial of the variance and that the use should be brought into conformance with the code.

BOARD OF ZONING APPEALS AGENDA MAY 29,1984

- 1. CHAIRMAN CALLS THE MEETING TO ORDER AT 4:30 P.M.
- 2. SECRETARY CALLS THE ROLL:
 - A. RICHARD MC BROOM
 - B. LYNN YACKEE
 - C. HOWARD OVERHULZ
 - D. ROBERT DOWNEY
 - E. RICHARD LUZNY
- 3. PUBLIC HEARING:
 - 6-84 A REQUEST FOR VARIANCE TO THE SETBACK REQUIREMENTS OF AN ACCESSORY BUILDING BY LLOYD FRUTH OF 557 W. MAIN ST. FOR THE PROPERTY AT 405 HUDSON ST.
- 4. MOTION MADE BY
- 5. MOTION SECONDED BY
- 6. VOTE

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BOARD OF ZONING APPEALS MEETING

MAY 29,1984

Chairman called the meeting to order at 4:40

Secretary called the roll: Present were Mr. Yakee, Mr. Mc Broom, Mr. Luzny.

Mr. Nayman- If you will look at the drawing in your packet, of Hudson Drive and Oakwood. The building was moved in there sometime around 1960 and they were sited at that time for not having a permit to move-

Mr. Yakee- This is the one on the corner that looks like a house?

Mr. Hayman-Yes- did not have a permit to be moved in there and was set in the setback of the yard, its like ll feet from the street right of way. They do have enough footage on that lot to move it back so they meet the requirements of the code. They were stopped work at that time and if you read thru the review, there's been a lot going on over the years but they have never brought it within the standards of the code. That is what we would like to get now where there legal.

Mr. Yakee- It looks like a house. He intends to use it as a shed?

Mr. Hayman-Well seethey have pieced mealed it , they stuck it in there with out a footer, then they added a basement then they added the brick, no permits the things filled with lumber and he wants to make it a garage and a accessory building is required to be behind the house.

Mr. Mc Broom-Is this partition from Mr. Fruth or from the City.

 $\mbox{Mr. Hayman-From Mr. Fruth what he wants to do is sell it and use it as a garage.} \label{eq:mr. Hayman-From Mr. Fruth what he wants to do is sell it and use it as a$

Mr. Luzny- Can we have meetings with out the applicant being here?

Mr. Hayman- Yes you can do it.

Mr. McBroom- As far as I'm concerned it shouldn't be sold as a house if its not a house, it shouldn't be sold as anything.

Mr. Hayman-Because your the Board of Zoning Appeals you can grant a variance for this to be changed to a residence or remodel to a garage or what ever you want to do.

Mr. Luzny- It doesn't meet standards or code regardless of what it is right now.

Mr. McBroom- Can it be made to meet standards. The way I saw it you had 17 different things done to it 14 different times and it meets nothing yet.

Mr. Hayman- The older Mr.Fruth passed away and I don't think he had the money and would piecemeal as he got money to do it and would never get permits or anything. Liketh brick that was put on it was never finished, it was put on the house but not on the garage, then he wanted to put a different type of material on the garage and now I understand he wants to put siding on the garage. Your going to have two different types of finish on the structure.

Mr. McBroom-1 like the one in 1960 the best when we refused him permission to burn the house down we compound our own problems.

Mr. Hayman- You can't let a resident burn there own house.

Mr. McBroom- I understand that.

Mr. Hayman -The problem were having today is that back thru the years they allowed divissions of property with out approval and now we have lots that are undersized and odd shapes like this one. Its an undersized lot to begin eith and it has to be joined with the other lot next to it. If he wanted to \pm sell that corner lot off we probably could not stop him.

Mr. Luzny- Can we give him an alternate Say that he either moves it back and meet all the standards or to tear it down his choice.

Mr. Yakee-He can't move it back with a basement under it.

Mr. Luzny- It's a part basement but I'm sure he could move it. He's trying to sell this place right.

Mr. Hayman- He is trying to sell both lots, the L shape lot.

Mr. Luzny- Perhaps it would be good to give him the opertunity to move it or tear it down.

The Board had much discussion on what should be done.

Mr. Hayman stated that if he moved it back and made it flush with the front of the other house and make it attached, then he could make a garage out of it. If you want to grant a varience for it to be a garage right now you can do that or make him finish it off with brick, that can be done.

 $\operatorname{Mr.}$ McBroom- I think he was told at another time that it had to match existing.

Mr. Yakee- They just moved the thing there with out permission.

Mr. Hayman- Yes, where they moved it from I don't know.

Mr. McBroom-We asked three times to burn it down and four times to bring it up to code. I'm under the opinion that we should'nt be granting any variances of any kind.

Mr.Yakee- I'm feeling the same way.

Mr. Luzny- I agree.

Mr. McBroom-I mean this is to much junk to put up with from any body.

Mr. Luzny-Not only that, the fact hes not here I think indicates he's going to do what he wants anyway regardlessof what we say.

 $\mbox{Mr.}\mbox{McBroom-}\mbox{I}$ would refuse to grant a variance without any more information then we have here.

Mr. Hayman-If you look at my letter in 1980 to the City Manager, we found the house open and it was in a very dangerous condition any body could walk into it and the windows were broken. I sent a letter to them to close it up and they never did nothing to it.

		,

Mr. Yakee- The broken window is still there.

 $\mbox{Mr. McBroom-}\mbox{1}$ could not vote for the variance under the circumstances. How do you teel Mr. Yakee.

Mr. Yakee-I feel the same way you do. Can we help the situation any.

There was more discussion by the Board.

Mr. McBroom-I just feel any thing we do now should go to Council.

Mr. Hayman-You have the decsion , what ever you decide does not go to Council. This is not like Planning Commission.

Mr. McBroom-I would say her that he should bring it up to zoning and building codes, if that requires moving it back the 25 ft., no ones living in it now. No variances to be granted, what he's asking from what I'm reading is he's going to sell it to somebody who is going to attempt to fix it up again and move into it.

Mr. Hayman- I don't know if there going to move into it they might posibly want to rent it out.

Mr. McBroom- Were not going to let them do that are you saying that is what will stop it a motion to that effect.

Mr. Hayman- If you make the motion that he has to bring it up to the building and zoning code your making enough restrictions on it that he's going to have to do something to it.

Mr. Luzny-I move that we allow Mr. Fruth the oppertunity to bring the garage to standard by moving it next to the house with proper setbacks and so on, or remove the garage from the lot within the next 180 days. We would at that time reexamine an appeal or grant a variance if it was moved next to the house. Would something like that half way cover it, but it would have to be within 180 daysl

Mr. Hayman- If he is going to move it next to the house, even with the front of the house, he doesn't need a variance as long as footer and foundation under the house.

Mr. McBroom- How about just redoing it, he has 180 days to bring it up to the building and zoning code or no occupancy certificate will be granted we have to do something were going to have another abandoned house. I would like to see the ordinance ruled as such that the only hammer we have is no occupancy will be granted and it will be removed.

Mr. Luzny-I would like to move we allow Mr. Fruth the opertunity to bring the garage to standard be moving it next to the house with proper setbacks etc. or to remove the garage from the lot entirly within the next 180 days or by bringing the unit up to building and zoning code requirements or no occupancy permit will be granted.

Mr. Yakee- seconded the motion.

Upon a voice vote the majority voted for the motion.

With no other business to be brought before the Board, the meeting was as journed at $5:01\ PM$

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To: Board of Zoning Appeals, Fr: Richard G. Hayman

Re: 405 Hudson St. Public Hearing

On May 29,1984, the Board held a Public Hearing for a variance to the setback of an accessory building. Mr. Lloyd Fruth was not present at that meeting and the Board voted for Mr. Fruth to either remove the building or to move it next to the main structure on the property and it was to be completed within 180 days.

Mr. Fruth came in and said he had not recieved notice of the Hearing, that was why he did not attend. He also told me that the house was not moved in as our records show but that it had been built there. Also when the van hyning sewer line was installed, a tap was left for that house and Mr. Fruth and the other heirs are paying a \$300.00 assessment for that sewer line. Mr. Fruths father was given three permits to repair the structure as per code. Because this work was not done, Mr. Fruth feels that he should not be penalized for what his father did not do. Vecause he was given three permits to remodel the structure, I feel we will have to allow Mr. Lloyd Fruth the same privilage that his Father was granted. With the Boards permission, I would like to issue an order to Mr. Lloyd Fruth and the other heirs, 180 day to bring the building up to the requirements of the one and two family dwelling house code and issue a permit.

If the Board has any problem with this please call and let me know.

TO: BOARD OF ZONING APPEALS

FROM: RICHARD G. HAYMAN

SUBJECT: VARIANCE TO SETBACK AND LOT SIZE PLUS INTERPRETATION

DATE: JUNE 28, 1985 HEARING DATE: JULY 9, 1985

TIME: 4:30 PM

It is requested by Lloyd Fruth that the Zoning Board of Appeals, straighten up a conlict of code interpretation between the Zoning Inspector and the Administration and is also asking for a variance to the setback and lot size regulations in a B Residential District.

Back in 1875 the Plat of the Fair Grounds Addition to the City of Napoleon was recorded at the County Recorders office. This Subdivision was located out on the old Adrian Pike now known as Oakwood Ave. and is directly across from where Baumans Stock Yards were located. The Lots were laid out 66 ft. wide by 134 ft. deep on all lots but those fronting on Oakwood Ave. . Lot 1 is the first lot in the subdivision on the corner of Oakwood and Hudson Street, and the lot in question here. Lot 1 was laid out 81 ft. wide by 134 feet deep. There was a farm house on the south portion of this lot. In 1939 Edward Fruth purchased Lot 1 from George Bokerman. In 1951, the records show that Fruth split the lot and sold the south portion to a Mr. Hahn. The deeds show the size of the south lot as 78.03 feet taken off the north lot which left the nort lot 53.97 feet deep on the east side and 47.22 feet deep along Oakwood. The square footage of the north lot is 4413 sq. feet. The sq. footage of the south lot is about 8698 sq. feet.

Section 151.30 Last paragraph states that in any district, a single family dwelling may be constructed on a lot of record regardless of the size of the lot.

Lot Of Record under Definitions is a lot which is part of a duly recorded plat of subdivision; or a parcel of land which has been conveyed by the identical description by deed or record recorded prior to; or a parcel of land conveyed by a deed or record, if on the date of the recording of said deed such parcel met all the requirements of the zoning ordinance then in effect.

The following is my interpritation and feelings as to this lot.

- 1. The subdivision was recorded back in 1875, making the lot a lot of record.
- 2. Mr. Edward Fruth split Lot 1 in 1951 prior to any Zoning in the City, making both the north and south Lots, Lots of Record because they were recorded.
- 3. Mr. Edward Fruth was allowed to move the present structure on to the north lot. It consisted of three rooms with a total sq. footage of $1118 \ sq.$ ft..
- 4. The permits that were issued over the next thirty some years, was to remodel the building for storage.
- 5. A letter in my file on $\,$ 1 Hudson Drive, was dated August 5, 1960, and states they were relocating a home.

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- 6. Another letter in my file from Thomas Terranova asks Mr. Fruth to note on the site plan as to the use of the structure. This would indicate to me that he
- 7. I feel even though the building has been used for a storage shed from the time it was moved onto the lot to date that if Mr. Fruth wants to spend the money to bring it up to code that the Zoning Code does not restrict him from changing the use from storage to Residential Single Family Dwelling, as long as he does not decrease the setbacks any more than they are now. The setback on Hudson is only 15 ft. and he could not come forward of that amount. To make the building into a single family dwelling would take quite a bit of money to meet the building code. If the lot was left as is or the house was tore down it would not improve that corner and could depriciate property values in the area. If they were allowed to remodel the structure into a nice single family dwelling, I thinkit would increase property values in the area and make the area look better than it does now.
- 8. If the lot was owned by another individual instead of the person that also owns lot 2, would it then be allowed to be built on or remodeled. It has been said that because the taxes have been paid for both lots 2 and the north half of lot 1, and not been split in two seperate tax bills, then the two lots should be treated as one lot.
- 9. Some codes are written that a Zoning Lot no matter what size can have a single family residence errected upon, only as long as abutting lots are not owned by the same owner. What there saying is, that if you own a zoning lot, no matter what size, and you don't own any abutting lots, then you may build a single family residence. If you own a lot abutting that zoning lot, then the two lots have to be joined and only one residence may be errected. Our code does not say that, any lot of record, no matter what size, can have a single family residence errected upon it.
- 10. There are not to many situations like this one, so what ever your dicision, you would not be setting president.

If your preferance is to grant the request to remodel the structure, then it should be made clear that the front of the building can never be brought out any farther than what it is right now, and the Oakwood side can not be built on. Also the building would have to be brought up to the building code.

If your preferance is to deny the request then the building should be removed and nothing allowed to be built on that lot. If the lot was rejoined with the south lot then a single family residence could be errected on the two lots only if the other structures were removed.

ZONING BOARD OF APPEALS AGENDA

JULY 9, 1985

CHAIRMAN CALLS THE MEETING TO ORDER AT 4:30 PM

SECRETARY CALLS THE ROLL

SECRETARY READS THE PUBLIC HEARING NOTICE FOR 5-85

A request by Lloyd R. Fruth, Executor of the estate of Edward H. Fruth, for a variance to the lot size and setback requirements and and interpretation of Section 151.30 Minumum lot size and lots of record of the City of Napoleon Zoning Ordinance and decision if a structure located at 1 Hudson Drive and Oakwood Ave. can be converted to a single family residential dwelling.

DISCUSSION

MOTION

SECOND

VOTE

ADJOURNMENT

DAUR

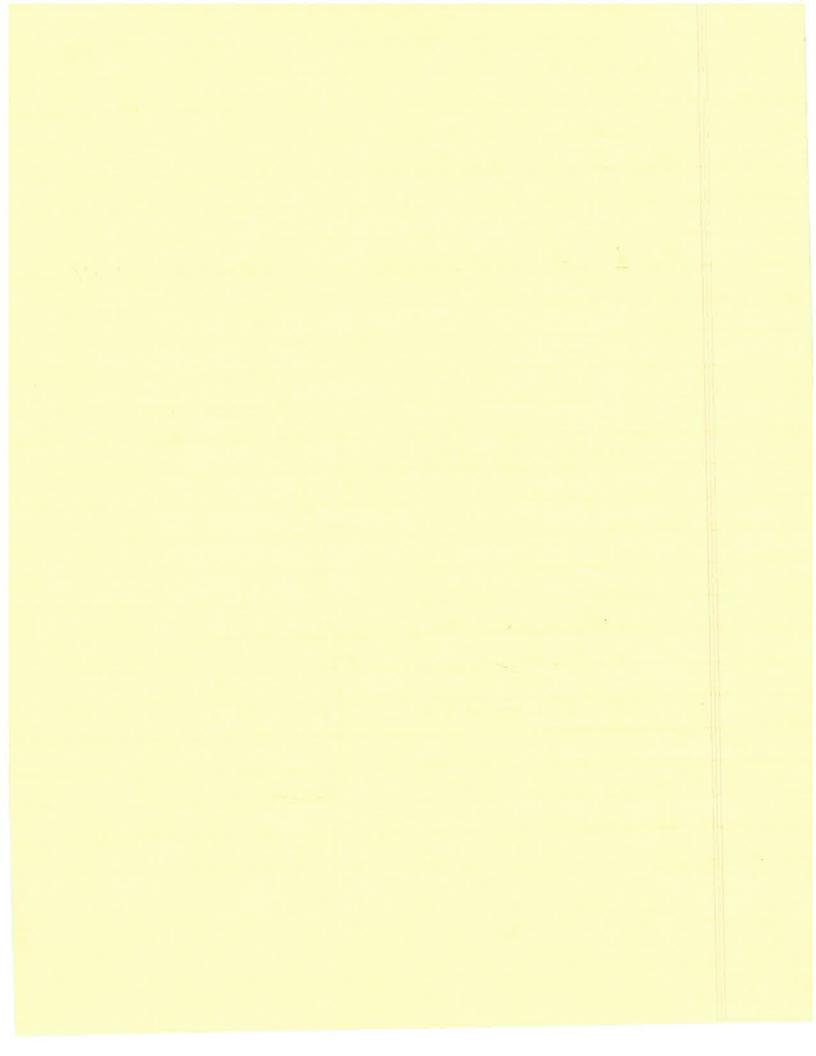
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Office Visit

Fri 29Nov85 4:20 pm to 4:50 pm

John Helberg, Paul Buehrer, Mr. and Mrs. Huesca and child

The following statements were made:

To the best of our knowledge, no footer exists

During the site inspection on 29Nov85, 1:15 pm to 3:30 pm by Paul Buehrer upon permission of Mr. and Mrs. Huesca to enter the property in question with intent to determine if a footer exists, Mr. Buehrer entered the basement, removed a sandstone block, measuring $4\frac{1}{2}$ " x 5" x 1" thick, from the midpoint of the south foundation wall at the point of intersection of the concrete floor and wall base. The block was inserted in the horizontal plane. Removal was made with little difficulty. The process of including oversized aggregate leads to a failure of adhesion of the concrete pour. Removal of this piece of sandstone revealed a mud base. Mr. Buehrer then acquired a 4' long, approximately 3/8" diamter tile probe. He then inserted into this mud base in an easterly and a westerly direction, approximately 30° from the vertical. In both instances, the probe went into the mud base at least 16". This was sufficient knowledge, at this time, to determine that no footer exists at the base of this 6' foundation wall, in Mr. Buehrer's opinion.

To the best of our knowledge, the masonry brick wall is not tied to the structure.

Upon Mr. Buehrer's determination, the brick facade fluctuates separately from the stud wall.

Before the City makes any determinations, we must contact Mr. Hayman to discuss what arrangements and agreements have already been made.

No determinations will be made until that time.

Office Visit

Mon 02Dec85 11:45 am to 12:30 pm.

John Helberg, Paul Buehrer, Mr. and Mrs. Huesca and child

The following statements were made:

We will contact Mr. Hayman-Building Official, Don Bergstedt-Block Layer, and Junior Schnitkey-Brick Layer, for additional information before this department makes any decision on the matter.

Phone Conversation

Tue 03Dec85 Morning

John Helberg and Mrs. Huesca

Mrs. Huesca related:

According to Junior Schnitkey, the brick layer, there is a footer under the structure. Mr. Schnitkey informed the Huesca's where they are to dig to find the footer. Mrs. Huesca will look for a footer and let this department know when they find it.

Phone Conversation

Wed O4Dec85 Morning

John Helberg and Mrs. Huesca

Mrs. Huesca asked for permission to install windows in the structure.

Permission was granted to install windows. A warning was issued to

Mrs. Huesca that any further development done on the structure is at
their own risk; but <u>for safety purposes</u>, our decision was that we
would allow her to install windows.

Phone conversation
Paul Buehrer and Don Bergstedt
Tue 03Dec85 9:28 am

Permit No. 1088, issued 11Sep85

Upon Richard Hayman's review of O3Sep85, Don Bergstedt was hired by Mr. Fruth to replace, reset, and tuckpoint any block which Richard Hayman physically pointed out. Mr. Bergstedt then repaired the block, reinforced any wall studs which Mr. Hayman physically pointed out, and also began placing firestopping to Mr. Hayman's requirement.

According to Mr. Bergstedt, on 20Sep85, Mr. Hayman stated, "The foundation is now suitable for structure", "The stud walls are suitable", and "The rafters and joists are suitable."

Masonry ties were not discussed, sheathing was not discussed.

The permit was then signed by Mr. Hayman, including the statement "Foundation & Firestopping Complete".

Phone Conversation

Paul Buehrer and John Helberg Richard Hayman

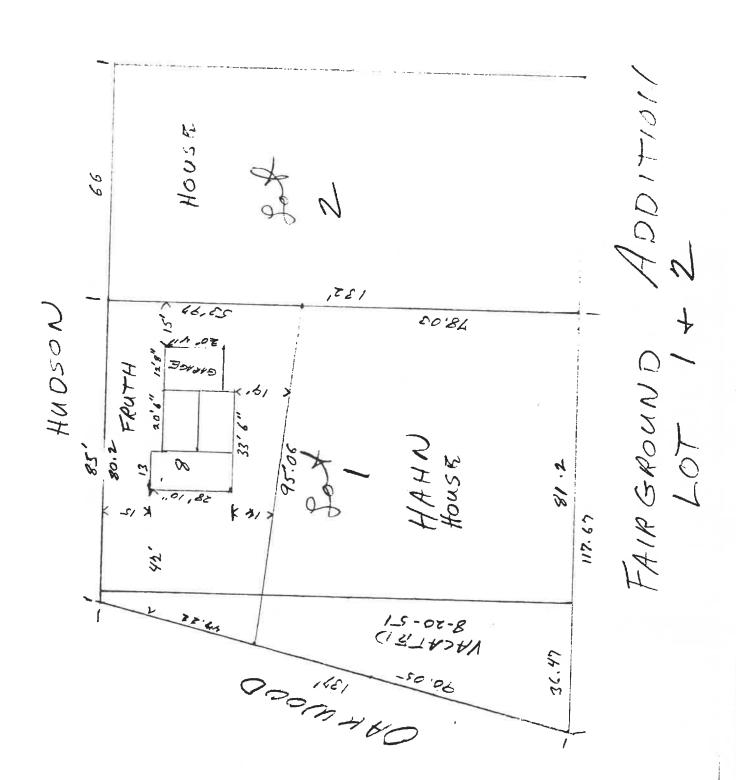
Tue 03Dec85 Afternoon

1	Fire separation wall between garage and structure on garage side must be $\frac{1}{2}$ " drywall
2	Basement walls are suitable for structure
5	Foundation must be suitable since the structure has remained standing for this period of time

- Crawlspace ventilation is not required 4 Blocking at joist level is not required
- Firestopping was required and accepted 7
- Wall covering must be romoved from east wall of structure and interior 8 walls
- 9 Studs were reinforced and acceptable
- Masonry veneer construction was not discussed prior to this conversation 11
- Masonry ties were not discussed prior to this conversation 12
- No blocking is required in this type of framing 14
- Header at base of stairwell is not required 15
- Roof design is to be determined in later permit because Richard Hayman 16 felt that the prior owner should not be responsible to bring all of the structure up to code
- 17 Same as above
- Ridge board in garage must be replaced 18

These are Richard Hayman's opinions

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URCATES 8-20-51

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City of NAPOLEON, OHIO

255 RIVERVIEW AVENUE - (419) 592-4010 NAPOLEON, OHIO 43545-0151

January 7, 1986

Mayor

Robert G. Heft

Members of Council

Lawrence Haase, President William Young James Hershberger Donald Stevens Donald Morford

City Manager Richard A. Hayward

Steve White

Clerk-Treasurer Rupert W. Schweinhagen

Law Director Keith P. Muehlfeld Roberto Huesca 321 Short Street Napoleon, Ohio 43545

Re: Certificate of occupancy 403 Hudson St.

Dear Mr. Huesca:

Enclosed find your certificate of occupancy for the above referenced residence.

Sincerely,

Eldon Huber

Building Inspector

EH:skw

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NAPOLEON

ENGINEERING DEPARTMENT DIVISION OF INSPECTION

and health laws and ordinances and with the provisions of the Zoning Ordinance This is to certify that the Building or Land as substantially *
herein described/complies with all the building

Substantial qualifications of occupancy * As interpreted and approved by former Napoleon City Owner of Property _____Roberto_Huesca______Address __321_Short_Street_____ Issued Location of Occupancy 403 Hudson Street aka 1 Hudson Drive Occupancy Residence (1 - Family) Building Inspector Richard G. Hayman. to Roberto Huesca 321 Short Street Address 321 Short Street Bldg. Permit No.1119.....

permission is hereby granted to occupy such building in compliance wth such legal use and occupancy as authorized under the provisions of the ordinances of the City of Napoleon. that construction is This certificate is issued by the City Building Inspector, as provided by law, and completed substantially * in conformity with the approved is to certify

Issued this _____6th ____day of January 19.87

This is a valuable record for owner or lessee and should be so preserved.

Signed City Building Inspector

PROJECT RECORD FORM

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1 HUDSON DRIVE Page 1 of 3

Site inspection conducted Fri29Nov85 1:15 - 3:30 pm by Paul Buehrer upon request of City Manager and permission of Mr. and Mrs. Huesca Site inspection made Thu05Dec85 1:15 - 1:45 pm by John Helberg and Paul Buehrer for confirmation of citations from previous inspection

Citations of 1983 CABO One and Two Family Dwelling Code
All Citations shall be corrected prior to issuance of Certificate of
Occupancy
Next permit shall include correction of foundation

BUILDING PLANNING

R-210 PRIVATE GARAGES

R-210.2 SEPARATION REQUIRED

 $\frac{1}{2}$ " drywall shall be applied to garage side of separation wall FOUNDATIONS

R-301 GENERAL

R-301.2 REQUIREMENTS

The foundation shall accomodate all live, dead, and other loads and all lateral loads $\,$

Footer shall be installed

R-302 MATERIALS

R-302.1 STANDARDS

Materials for foundations and basement walls shall be reasonably safe and meet standards

Original pour was made containing miscellaneous masonry articles included in base of pour to take up space and save material

This practice destroys the adhesiveness of the pour

The original poured wall shall be corrected Several concrete block contain web fractures

In crawl space to west, these block shall be replaced

Foundation has settled (South face of brick to west, and North face of brick to east contains longitudinal fractures)

R-303 FOOTINGS

All exterior and bearing walls shall be supported on footings extending below the frost line $\frac{1}{2}$

32" footer shall be installed in crawl spaces and slab floor Bearing surface shall be 12" larger than wall width

WALL CONSTRUCTION R-402 WOOD

R-402.3 CONSTRUCTION

Exterior walls shall be constructed in accordance with Figure No. R-402.3.1 $\frac{1}{2}$ " anchor bolts at 6' oc imbedded into walls 7"

R-402.7 FIRESTOPPING

Required at floor level at top of concrete walls Required at ceiling level

WALL COVERING

R-501 GENERAL

R-501.1 APPLICATION

Construction shall conform with material, test, and construction standards Exterior and interior sheathing shall be removed and replaced

R-501.2 INSTALLATION

Products sensitive to adverse weather shall be protected Studs may contain too high moisture content

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls shall be covered with approved materials Sheathing shall be removed and replaced

		=	

WALL COVERING (CONT)

R-503 EXTERIOR COVERING (CONT)

R-503.4 MASONRY VENEER GENERAL

Masonry veneer shall be installed in accordance with Figure No. R-503.4Metal ties shall anchor brick to stud wall

R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved metal ties spaced 24" horizontally and 19-9/16" vertically, or 16" horizontally and 29-1/4" vertically

R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant siding This may not have been applied soon enough to prevent moisture damage

FLOORS

R-601 GENERAL

R-601.2 REQUIREMENTS

Floors shall be constructed in accordance with Figure No. R-601.2 Header shall be installed at stairwell, same size as floor joists R-602 DIMENSION LUMBER

R-602.2 ALLOWABLE SPANS

TABLE 6B ALLOWABLE SPANS FOR FLOOR JOISTS - 30 LB LIVE LOAD In SE bedroom with 12' span, joists shall be 2"x8", 16" oc In SW bedroom with 14' span, joists shall be 2"x10", 16" oc

TABLE 6A ALLOWABLE SPANS FOR FLOOR JOISTS - 40 LB LIVE LOAD

In rooms with 12' span, joists shall be either 2"x10", 16" oc, or 2"x8", 16" oc with bridging

In rooms with 14' span, joists shall be either 2"x12", 16" oc, or 2"x10", 16" oc with bridging

R-602.4 LATERAL SUPPORT AND BRIDGING

Bridging shall be 1"x3" diagonal wood, approved metal, or 2x solid wood R-602.7 FLOOR FRAMING

TABLE R-402.3.2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

Two sheets of flooring in NE end of structure shall be fastened in place properly

Using 6d nails or 16 ga staples, 6" spacing at edges and 10" spacing on intermediate supports

R-602.8 HEADERS

Openings shall be framed with a header

R-605 PLYWOOD

R-605.2 ALLOWABLE SPANS

TABLE R-602.2.4 MINIMUM THICKNESS FOR PLYWOOD COMBINATION SUBFLOOR-UNDERLAYMENT

 $\frac{1}{2}$ " plywood shall be added to subfloor to meet 3/4" minimum thickness R-605.3 INSTALLATION

TABLE R-402.3.2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS Using 6d nails or 16 ga staples, 6" spacing at edges and 10" spacing on intermediate supports

ROOF-CEILING CONSTRUCTION

R-701 GENERAL

R-701.1 APPLICATION

Roof system shall conform to material, test, construction, and design standards, Figure R-702.3

Adequate plans are required concerning roof trusses

R-702 DIMENSION LUMBER

R-702.1 IDENTIFICATION AND GRADE

Material shall be utility grade lumber or better to read forth then

the cut and of the cafter

				- 0
			-	

ROOF-CEILING CONSTRUCTION (CONT)

R-702 DIMENSION LUMBER (CONT)

R-702.2 FRAMING DETAILS

Ridge boards shall be 1" nominal thickness and not less in depth than the cut end of the rafter

All ridge boards shall be replaced with 1"x6" lumber

R-702.3 FIGURE FRAMING DETAILS

2"x4" purlins to be continuous between braces

2"x4" braces to be 32" oc

Adequate plans are required concerning roof construction

R-702.8 HEADERS

TABLE R-402.6 MAXIMUM ALLOWANCE SPANS FOR HEADERS SUPPORTING WOOD FRAME WALLS

Garage header shall be 2-2"x12" lumber

Window headers shall be 2-2"x6" for up to 4' spans, or 2-2"x8" for 4' to 6' spans

R-402.3.2 FIGURE FRAMING DETAILS

Window framing shall be altered to match figure for header support

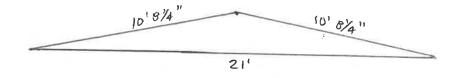
Any and all items may be appealed to the Board of Building Appeals

1 HUDSON DRIVE PROPOSED TRUSS DIAGRAM

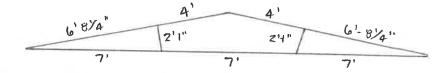


GARAGE // 21	.'Span 2	Peak		
Existing 5/8"x4"	Ridge	Code Section R-702.2	Required 1"x6"	Notes
2"x4" 16" oc 2"x6" 36" oc	Rafter Joist Purlin Brace	7-M 7-D R-702.3Fig R-702.3Fig	2"x6" 16" oc 2"x8" 16" oc 2"x4" 2"x4" 48" oc	Def=0.53, Span=7'3" Def=1.05, Span=16'1"

Existing



Proposed



MAIN STRUCTURE

24' Span

5' Peak

Existing 1"x4" 2"x4" 16" oc 2"x6" 16"-18" oc

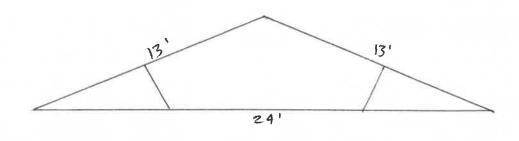
Ridge Rafter Joist Braces Code Section R-702.2 attion 7-S 7-B

R-701.1

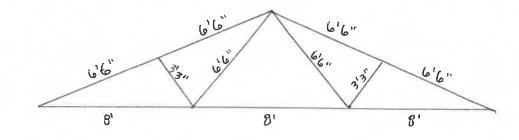
Required 1"x6" 2"x4" 16" oc 2"x6" 16" oc 2"x4" 32" oc Notes

Def=0.80, Span=6'3" Def=1.20, Span=12'0"

Existing



Proposed



TAPPING PERMIT

Office Of Water Works Napoleon, Ohio

()	No. 464	Date 11/19/85
	Received of Roberta Muex	ea
	Three hundred Do	ollars CC
١	Charge for tapping permit to supply water	services to Lot No/
	Addition tangrounds ad	detros
	Street No. 403 Hudson	
	Tap Size/ Inch	Cost
	Plumber	
	Street to be opened-YesNo	
	Opening bond fee set by Engineer \$	
	Street opening agreement approval date	
		Clerk-Treasurer
)		
)	Date completed	
	*	
)	Water Distribution Department	

Page 1 of 3

Site inspection conducted Fri29Nov85 1:15 - 3:30 pm by Paul Buehrer upon request of City Manager and permission of Mr. and Mrs. Huesca Site inspection made ThuO5Dec85 1:15 - 1:45 pm by John Helberg and Paul Buehrer for confirmation of citations from previous inspection

Citations of 1983 CABO One and Two Family Dwelling Code All Citations shall be corrected prior to issuance of Certificate of Occupancy Next permit shall include correction of foundation

BUILDING PLANNING

R-210 PRIVATE GARAGES

R-210.2 SEPARATION REQUIRED

 $\frac{1}{2}$ " drywall shall be applied to garage side of separation wall FOUNDATIONS

R-301 GENERAL

R-301.2 REQUIREMENTS

The foundation shall accomodate all live, dead, and other loads and all lateral loads

Footer shall be installed

R-302 MATERIALS

R-302.1 STANDARDS

Materials for foundations and basement walls shall be reasonably safe and meet standards

Original pour was made containing miscellaneous masonry articles included in base of pour to take up space and save material This practice destroys the adhesiveness of the pour

The original poured wall shall be corrected Several concrete block contain web fractures

In crawl space to west, these block shall be replaced

Foundation has settled (South face of brick to west, and North face of brick to east contains longitudinal fractures)

R-303 FOOTINGS

All exterior and bearing walls shall be supported on footings extending below the frost line

32" footer shall be installed in crawl spaces and slab floor Bearing surface shall be 12" larger than wall width

WALL CONSTRUCTION

R-402 WOOD

R-402.3 CONSTRUCTION

Exterior walls shall be constructed in accordance with Figure No. R-402.3.1 $\frac{1}{2}$ " anchor bolts at 6' oc imbedded into walls 7"

R-402.7 FIRESTOPPING

Required at floor level at top of concrete walls Required at ceiling level

WALL COVERING

R-501 GENERAL

R-501.1 APPLICATION

Construction shall conform with material, test, and construction standards Exterior and interior sheathing shall be removed and replaced

R-501.2 INSTALLATION

Products sensitive to adverse weather shall be protected Studs may contain too high moisture content

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls shall be covered with approved materials Sheathing shall be removed and replaced

WALL COVERING (CONT)

R-503 EXTERIOR COVERING (CONT)

R-503.4 MASONRY VENEER GENERAL

Masonry veneer shall be installed in accordance with Figure No. R-503.4 Metal ties shall anchor brick to stud wall

R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved metal ties spaced 24" horizontally and 19-9/16" vertically, or

16" horizontally and 29-1/4" vertically

R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant siding
This may not have been applied soon enough to prevent moisture damage

FLOORS R-601 GENERAL

R-601.2 REQUIREMENTS

Floors shall be constructed in accordance with Figure No. R-601.2
Header shall be installed at stairwell, same size as floor joists
R-602 DIMENSION LUMBER

R-602.2 ALLOWABLE SPANS

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R-602.8 HEADERS

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R-605 PLYWOOD

R-605.2 ALLOWABLE SPANS

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ROOF-CEILING CONSTRUCTION

R-701 GENERAL.

R-701.1 APPLICATION

Roof system shall conform to material, test, construction, and design standards, Figure R-702.3

Adequate plans are required concerning roof trusses

R-702 DIMENSION LUMBER

R-702.1 IDENTIFICATION AND GRADE

16 f - 16

Material shall be utility grade lumber or better

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ROOF-CEILING CONSTRUCTION (CONT) R-702 DIMENSION LUMBER (CONT)

R-702.2 FRAMING DETAILS

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R-702.8 HEADERS

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Window framing shall be altered to match figure for header support

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A00:

R-204,1 GLAZING REQUIRED (8%)

	ACTUAL (SQ. FE)	Reg'o (SOFF)	DIFFICIONCY (SQ FT)
S.E. BEDROOM	2.57	12.38	10.31
B17-4	5.78	3,00	O.K.
KITCHEN	5.50	18.40	12.90
S.W. BEDROOM	8.59	14.56	5.97
N. W. ROOM (FAMILY ROCK)	<i>13.56</i>	16. 80	3,24