

**PERMIT**  
**CITY OF NAPOLEON - BUILDING DEPARTMENT**  
 255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 1119 Issued 11/19/85 date  
 Job Location 403 Hudson address  
 Lot \_\_\_\_\_ sub-div or legal discript  
 Issued By Richard G. Heyman building official  
 Owner Roberto Huesca name tel. \_\_\_\_\_  
 Address 321 Short St.  
 Agent Owner tel. \_\_\_\_\_  
 Address \_\_\_\_\_ builder-eng.-etc.  
 Description of Use Remodel structure into  
single family dwelling  
 Residential Single no. dwelling units \_\_\_\_\_  
 Commercial \_\_\_\_\_ Industrial \_\_\_\_\_  
 New \_\_\_\_\_ Add'n. \_\_\_\_\_ Alter \_\_\_\_\_ Remodel \_\_\_\_\_  
 Mixed Occupancy \_\_\_\_\_  
 Change of Occupancy \_\_\_\_\_  
 Estimated Cost \$ 10,000.00

	BASE	PLUS	TOTAL
<input checked="" type="checkbox"/> FEES			
<input checked="" type="checkbox"/> BUILDING			24.00
<input checked="" type="checkbox"/> ELECTRICAL			17.00
<input checked="" type="checkbox"/> PLUMBING			8.00
<input checked="" type="checkbox"/> MECHANICAL			6.00
<input type="checkbox"/> DEMOLITION			
<input type="checkbox"/> ZONING			
<input type="checkbox"/> SIGN			
<input type="checkbox"/> WATER TAP			60.00
<input type="checkbox"/> SEWER TAP			
<input type="checkbox"/> TEMP. ELECT.			10.00
<input type="checkbox"/> ADDITIONAL PLAN REVIEW	Struct.	<u>0 q. ft.</u>	hrs _____
	Elect.		hrs _____
TOTAL FEES.....			65.00
LESS MIN. FEES PAID <u>3-27-86</u> date			115.00
BALANCE DUE.....			50.00

**ZONING INFORMATION**

district <u>F</u>	lot dimensions	area	front yd	side yds	rear yd	date appr
max hgt	no pkg spaces	no idg spaces	max cover	petition or appeal req'd		

**WORK INFORMATION:**

Size: Length \_\_\_\_\_ Width \_\_\_\_\_ Stories \_\_\_\_\_ Ground Floor Area \_\_\_\_\_ cu. ft.  
 Height \_\_\_\_\_ Building Volume (for demo. permit) \_\_\_\_\_  
 Electrical: \_\_\_\_\_ brief description \_\_\_\_\_  
 Plumbing: \_\_\_\_\_ brief description \_\_\_\_\_  
 Mechanical: \_\_\_\_\_ brief description \_\_\_\_\_  
 Sign: \_\_\_\_\_ type \_\_\_\_\_ Dimensions \_\_\_\_\_ Sign Area \_\_\_\_\_  
 Additional Information: \_\_\_\_\_

Date 11/19/85 Applicant Signature Roberto Huesca owner-agent  
 Green-Clerk-Treasurer \_\_\_\_\_ Gold-County Auditor \_\_\_\_\_  
 Yellow-Applicant \_\_\_\_\_ Pink-Electrical Inspector \_\_\_\_\_

PAID 65.00 3-27-86  
 TB. 50.00 5-25-86  
 8/15/85

**PA**  
**JUN 25**  
 CITY OF NAPOLEON



**PERMIT**

**CITY OF NAPOLEON - BUILDING DEPARTMENT**

255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

1119

~~01019~~

Permit No. 1119 Issued 11/19/85 date

Job Location 403 Hudson address

Lot \_\_\_\_\_ sub-div or legal discript

Issued By Richard G. Hayman building official

Owner Roberto Huesca name tel.

Address 321 Short St.

Agent Owner builder-eng.-etc. tel.

Address \_\_\_\_\_

Description of Use Remodel structure into single family dwelling

Residential single no. dwelling units

Commercial \_\_\_\_\_ Industrial \_\_\_\_\_

New \_\_\_\_\_ Add'n. \_\_\_\_\_ Alter \_\_\_\_\_ Remodel \_\_\_\_\_

Mixed Occupancy \_\_\_\_\_

Change of Occupancy \_\_\_\_\_

Estimated Cost \$ 10,000.00

FEE	BASE	PLUS	TOTAL
BUILDING			24.00
ELECTRICAL			17.00
PLUMBING			8.00
MECHANICAL			6.00
DEMOLITION			
ZONING			
SIGN			
WATER TAP			300.00
SEWER TAP			60.00
TEMP. ELECT.			10.00
ADDITIONAL PLAN REVIEW	Struct. _____ hrs		
	Elect. _____ hrs		
TOTAL FEES.....			425.00
LESS MIN. FEES PAID			-0-
BALANCE DUE.....			425.00

**ZONING INFORMATION**

district <u>B</u>	lot dimensions	area	front yd	side yds	rear yd
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr

**WORK INFORMATION:**

Size: Length \_\_\_\_\_ Width \_\_\_\_\_ Stories \_\_\_\_\_ Ground Floor Area \_\_\_\_\_

Height \_\_\_\_\_ Building Volume (for demo permit) \_\_\_\_\_ cu. ft.

Electrical: \_\_\_\_\_ brief description \_\_\_\_\_

Plumbing: \_\_\_\_\_ brief description \_\_\_\_\_

Mechanical: \_\_\_\_\_ brief description \_\_\_\_\_

Sign: \_\_\_\_\_ type \_\_\_\_\_ Dimensions \_\_\_\_\_ Sign Area \_\_\_\_\_

Additional Information: \_\_\_\_\_

Date \_\_\_\_\_ Applicant Signature \_\_\_\_\_ owner-agent

*WORK AMT. TOTAL BLDG.*



# PERMIT

1119

Permit No. 01019 Issued 11/19/85  
date

Job Location 409 Hudson  
address

Lot \_\_\_\_\_  
sub-div or legal discript

Issued By Richard G. Hannon  
building official

Owner Roberta Hubner  
name tel.

Address 371 State St.

Agent Owner  
builder-eng.-etc. tel.

Address \_\_\_\_\_

Description of Use Remodel structure into

single family dwelling

Residential Single  
no. dwelling units

Commercial \_\_\_\_\_ Industrial \_\_\_\_\_

New \_\_\_\_\_ Add'n. \_\_\_\_\_ Alter \_\_\_\_\_ Remodel \_\_\_\_\_

<b>BUILDING</b>	24.00
<b>ELECTRICAL</b>	17.00
<b>PLUMBING</b>	3.00
<b>MECHANICAL</b>	1.00
<b>DEMOLITION</b>	
<b>ZONING</b>	
<b>SIGN</b>	

CITY OF NAPOLEON 300.00  
 Building Department 60.00  
 P. O. Box 151 - 255 West Riverview Avenue 10.00  
 Napoleon, Ohio 43545  
 419-592-4010

**THIS CARD MUST BE DISPLAYED ON THE STREET SIDE OF THE BUILDING**

10,000.00

425.00

*NO LONG AMT. ON BLDG TOTAL*



METER SOCKET RELEASE

JOB ADDRESS 403 HUDSON

DATE 11/19/85

OWNERS NAME ROBERTO HURSCO

PERMIT NO. 1120

OWNERS ADDRESS 312 SHORT

PHONE \_\_\_\_\_

CONTRACTOR OWNER

CONTRACTORS ADDRESS \_\_\_\_\_

PHONE \_\_\_\_\_

SIZE OF SERVICE 100 AMP OVERHEAD  UNDERGROUND

DATE APPROVED 11/19/85 APPROVED BY Richard J. [Signature]





APPLICATION FOR PERMIT TO TAP SEWER

Owner Roberta Hansen  
ADDRESS 3215 Holt  
CONTRACTOR Owner  
ADDRESS \_\_\_\_\_ TEL. \_\_\_\_\_

NO. \_\_\_\_\_  
BLDG. PERMIT 1119  
PERMIT FEE \$ 60.00  
STREET BOND \_\_\_\_\_  
DATE PAID \_\_\_\_\_  
For office use only

LOCATION OF CONNECTION

Street and No. 403 Hudson Sanitary  Storm \_\_\_\_\_  
Lot No. 1 Subdivision Fairgrounds add Size of Tap 4  
Size and Type of Sewer PVC 4" ALL WORK MUST BE INSPECTED  
Street to be opened-Yes \_\_\_\_\_ No  Opening bond fee set by Engineer \$ \_\_\_\_\_  
Street opening agreement approval date \_\_\_\_\_

I certify that the sewer will be used only as indicated and no other drainage will be connected.

Date \_\_\_\_\_ Signature X \_\_\_\_\_  
Owner-Builder-Agent

DO NOT WRITE BELOW THIS LINE

INSPECTION RECORD

Date Inspected \_\_\_\_\_ Size and Type of Sewer \_\_\_\_\_  
Location \_\_\_\_\_ Depth \_\_\_\_\_ Type of Test \_\_\_\_\_  
Inspected and Approved by: \_\_\_\_\_  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

Additional information \_\_\_\_\_

Send copy to: \_\_\_\_\_

SKETCH OF INSTALLATION -ON BACK



CITY OF NAPOLEON  
BUILDING INSPECTION DEPARTMENT  
APPLICATION FOR ELECTRICAL PERMIT  
(Please print or type)

The undersigned hereby makes application for installation or replacement of electrical equipment as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Electrical Codes.

Owner's Name ROBERTO HUESCA Address 321 SHOPY

Electrical Contractor OWNER Telephone No. \_\_\_\_\_

Address \_\_\_\_\_

General Contractor OWNER Telephone No. \_\_\_\_\_

Address \_\_\_\_\_

Location of Project 403 HUDSON Cost of Project \$10,000.00

Work Information:

Residential SINGLE Commercial \_\_\_\_\_ Industrial \_\_\_\_\_  
No. Units

New \_\_\_\_\_ Service Change \_\_\_\_\_ Rewiring \_\_\_\_\_ Additional Wiring \_\_\_\_\_

Brief Description of Work: New wiring in conversion of structure to residential dwelling

Size of proposed service entrance 100 AMP Number of new circuits 12

Type of proposed service entrance 100 amp Underground \_\_\_\_\_ Overhead

Require Temporary Electric \_\_\_\_\_ (Yes or No)

Total Floor Area - Commercial and Industrial only \_\_\_\_\_ sq. ft.

Additional Information: \_\_\_\_\_

\*Ground fault circuit interrupter protection is required on all 120-volt single phase, 15 and 20 amp. Circuits which are part of a temporary electric service: and also on bathroom, outdoor, and garage receptacles in all dwelling units. Art. 220-8 N.E.C.

\*Application for permit shall be accompanied by two complete sets of plans including: Electrical layout and riser diagram. (For commercial and industrial work only).

Date \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

PERMIT NO. 112A  
PERMIT FEE \$ 17.00



CITY OF NAPOLEON  
 BUILDING INSPECTION DEPARTMENT  
 APPLICATION FOR PLUMBING PERMIT  
 (Please print or type)

The undersigned hereby makes application for the installation or replacement of plumbing work as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Plumbing Codes. (1, 2 and 3 family dwelling units only).

Owner's Name Roberto Huesca Address 321 5th St

Plumbing Contractor Owner Telephone No. \_\_\_\_\_  
 Address \_\_\_\_\_

General Contractor Owner Telephone No. \_\_\_\_\_  
 Address \_\_\_\_\_

Location of Project 403 9th St Cost of Project 10,000.00

Work Information:

No. of dwelling units 1 New  Replacement \_\_\_\_\_ Addition \_\_\_\_\_

Brief description of work: Plumbing for new single family dwelling

Is water tap required Yes Size 1" Type of Pipe \_\_\_\_\_

Is sewer tap required Yes Size \_\_\_\_\_ Type of Pipe \_\_\_\_\_

Type of Water Distribution pipe \_\_\_\_\_

Type of Drainage, Waste and Vent Pipe PVC

Size of main building drain 4" Size of main vent pipe 3"

Water closets 1 Bathtubs 1 1 1/2 Shower \_\_\_\_\_  
 No. Trap Size No. Trap Size

lavatories 1 1 1/2 Kitchen Sink 1 1 1/2 Disposal \_\_\_\_\_  
 No. Trap Size No. Trap Size No. Trap Size

Dishwasher \_\_\_\_\_ Clothes Washer 1 1 1/2 Other \_\_\_\_\_  
 No. Trap Size No. Trap Size No. Trap Size

All installations are subject to plumbing tests and/or inspections.

Date \_\_\_\_\_ Applicant's Signature X

PERMIT NO. 1119  
 PERMIT FEE \$ 800



2-100 run 7-28-76

119 600

CITY OF NAPOLEON  
BUILDING INSPECTION DEPARTMENT  
APPLICATION FOR HEATING PERMIT  
(PLEASE PRINT OR TYPE)

The undersigned hereby makes application for the installation, repla or alteration of a heating system or device as herein specified, agr to do all such work in strict accordance with the City of Napoleon's adopted Mechanical Code for 1, 2 and 3 Family Buildings.

Owner's Name Roberta Hussler Address 351 SHRY

Contractor's Name Owner Address \_\_\_\_\_ Tel \_\_\_\_\_

BUILDING INFORMATION:

Single Family  Double Family \_\_\_\_\_ Multiple \_\_\_\_\_ New Construction  
Addition \_\_\_\_\_ Remodel \_\_\_\_\_ Replacement \_\_\_\_\_ No. of Stories 1

DESCRIPTION OF WORK

Heating System - Warm Air  Hot Water \_\_\_\_\_ Steam \_\_\_\_\_ Electric \_\_\_\_\_

Unit Heaters \_\_\_\_\_ Unit Gas Heaters \_\_\_\_\_ Other \_\_\_\_\_

Type - Gravity \_\_\_\_\_ Forced \_\_\_\_\_ Radiant \_\_\_\_\_

No. of Thermostatical Heating Zone \_\_\_\_\_

Hot Water - One Pipe \_\_\_\_\_ Two Pipe \_\_\_\_\_ Series Loop \_\_\_\_\_

Electric Heat - No. of Circuits \_\_\_\_\_ Other \_\_\_\_\_

Total Heat Loss of Area to be Heated \_\_\_\_\_

Rated Capacity of Furnace/Boiler \_\_\_\_\_

No. of Furnaces 1 No. of Hot Air Runs 5

No. of Hot Water Radiators \_\_\_\_\_ Type of Fuel GAS

Heating Units Located: Crawl Space \_\_\_\_\_ Floor Level \_\_\_\_\_ Suspended \_\_\_\_\_

Roof or Exposed to Outside Air \_\_\_\_\_ Attic \_\_\_\_\_ Other Basement

APPLICATION FOR PERMIT SHALL BE ACCOMPANIED BY TWO COMPLETE SETS OF P INCLUDING: LOCATION OF FURNACE OR UNIT HEATERS AND SIZE AND LOCATION FEEDER DUCTS AND RETURN AIR DUCTS. ALL PLANS SHALL BE DRAWN TO SCALE

ESTIMATED COST OF COMPLETED PROJECT: \_\_\_\_\_

DATE \_\_\_\_\_ APPLICANT'S SIGNATURE \_\_\_\_\_

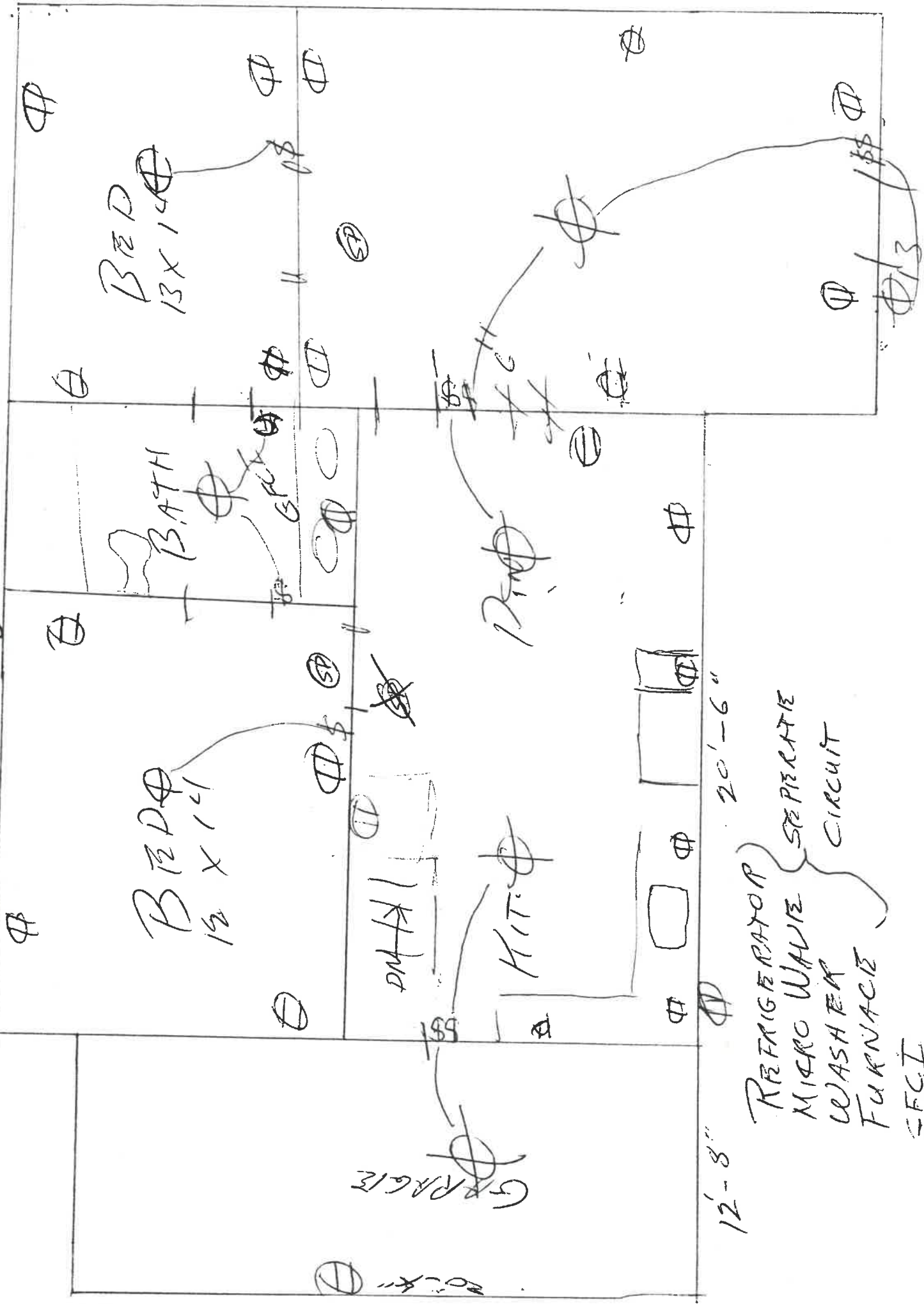
OWNER-CONTRACTOR-AGEN





55-6

2



- REFRIGERATOR
  - MICROWAVE
  - WASHER
  - FURNACE
  - FCI
- SPRECKLE  
CIRCUIT

3 PRC  
C.M. FOR DETECTOR



1 Hudson Drive

Site Inspection made 29Nov85 1:15 - 3:30 pm by Paul Buehrer on permission of Citations of 1983 CABO One and Two Family Dwelling Code Mr, and Mrs. Huesca

## BUILDING PLANNING

### R-210 PRIVATE GARAGES

#### R-210.2 SEPARATION REQUIRED

One-hour fire wall must be applied to garage side of wall

## FOUNDATIONS

### R-301 GENERAL

#### R-301.2 REQUIREMENTS

The foundation must accomodate all live, dead, and other loads and all lateral loads

Footer must be installed

### R-302 MATERIALS

#### R-302.1 STANDARDS

Materials for foundations and basement walls must be reasonably safe and meet standards

Original pour was made containing miscellaneous masonry articlus (Exhibit A) included in bottom of to take up space and save material

This procedure destroys the continuity of the pour

The original poured wall must be corrected

Several concrete block contain web fractures

In crawl space to west, these must be replaced

Foundation has settled (South face of brick to west has longitudinal fractures)

### R-303 FOOTINGS

All exterior and bearing walls shall be supported on footings extending below the frost line

32" footer must be installed in crawl spaces and slab floor

Bearing surface shall be 12" larger than wall width

### R-309 CRAWL SPACE

#### R-309.1 VENTILATION

South East crawl space requires 0.75 Sq Ft ventilation

North East crawl space requires 0.75 Sq Ft ventilation

West crawl space requires 2.5 Sq Ft ventilation

## WALL CONSTRUCTION

### R-402 WOOD

#### R-402.3 CONSTRUCTION

Exterior walls must be constructed in accordance with Figure No. R-402.3.1

Blocking is required in East and West end of joists or 1"x4" Ribbon is cut into stud

$\frac{1}{2}$ " Bolts at 6' oc imbedded into walls 7" as anchors

#### R-402.7 FIRESTOPPING

Required at floor level at top of concrete walls

Required at ceiling level

## WALL COVERING

### R-501 GENERAL

#### R-501.1 APPLICATION

Construction must conform with material, test, and construction standards

Some sheathing may contain too high moisture content

#### R-501.2 Installation

Products sensitive to adverse weather shall be protected

Studs may contain too high moisture content



WALL COVERING

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls must be covered with approved materials

Moisture content of sheathing

R-503.4 MASONRY VENEER GENERAL

Masonry veneer must be installed in accordance with Figure No. R-503.4

Metal ties must anchor brick to stud wall

R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved metal ties spaced 24" horizontally and 19½" vertically

R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant siding

This may not have been applied soon enough to prevent water damage

FLOORS

R-601 GENERAL

R-601.2 REQUIREMENTS

Floors must be constructed in accordance with Figure No. R-601.2

Header must be installed at stairwell

R-602 DIMENSION LUMBER

R-602.4 LATERAL SUPPORT AND BRIDGING

Joists must be supported at ends by blocking

R-602.8 HEADERS

Openings shall be framed with a header

ROOF-CEILING CONSTRUCTION

R-701 GENERAL

R-701.1 APPLICATION

Roof system must conform to material, test, construction, and design standards, Figure R-702.3

See proposed truss diagram

R-702 DIMENSION LUMBER

R-702.1 IDENTIFICATION AND GRADE

Material must be utility grade lumber or better

R-702.2 FRAMING DETAILS

Ridge boards shall be 1" nominal thickness and not less in depth than the cut end of the rafter

Ridge board on garage must be replaced, I will waive this requirement for main structure

R-702.3 (FIGURE) FRAMING DETAILS

2"x4" purlin to be continuous between braces

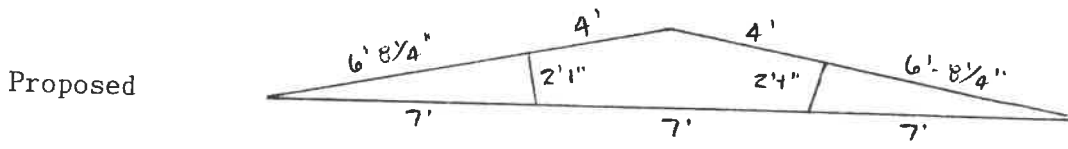
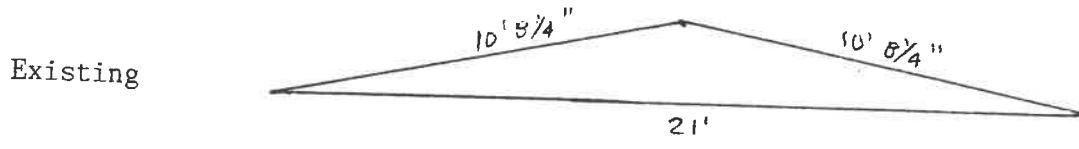
2"x4" braces to be 32" oc

See proposed truss diagram

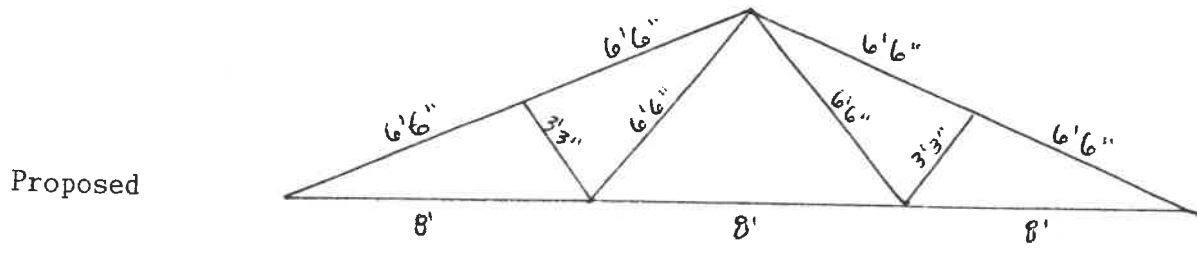
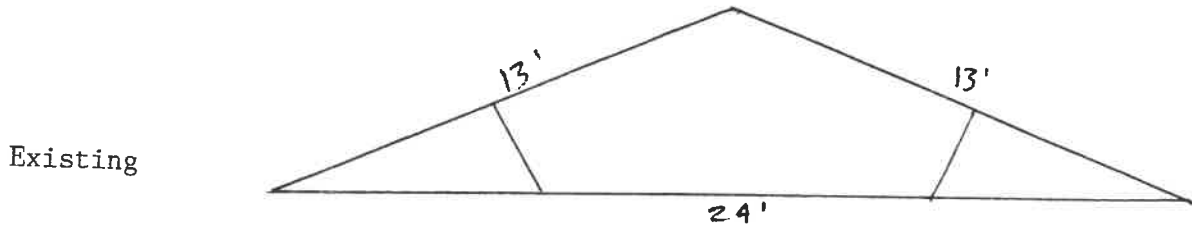


1 Hudson Drive (Page Three)  
 PROPOSED TRUSS DIAGRAM

GARAGE		21' Span	2' Peak	Code Section	Required	Notes
Existing	5/8"x4"	Ridge	R-702.2	1"x6"		
	2"x4" 16" oc	Rafter	7-M	2"x6" 16" oc		Def=0.53, Span=7'3"
	2"x6" 36" oc	Joist	7-D	2"x8" 16" oc		Def=1.05, Span=16'1"
		Purlin	R-702.3Fig	2"x4"		
		Brace	R-702.3Fig	2"x4" 48" oc		



MAIN STRUCTURE		24' Span	5' Peak	Code Section	Required	Notes
Existing	1"x4"	Ridge	R-702.2	1"x6"		
	2"x4" 16" oc	Rafter	7-S	2"x4" 16" oc		Def=0.80, Span=6'3"
	2"x6" 16"-18" oc	Joist	7-B	2"x6" 16" oc		Def=1.20, Span=12'0"
		Braces	R-701.1	2"x4" 32" oc		







APPLICATION FOR PUBLIC HEARING  
BOARD OF ZONING APPEALS  
CITY OF NAPOLEON, OHIO

TO: Department of Building and Zoning  
FOR: Chairman and Members of the Board of Zoning Appeals

I/We hereby file a petition for:(check the box applicable)

1.   x   Variance \$40.00
2.        Administrative Appeal No Fee

Address of property: Corner of Adrian Pike and Hudson Street, Napoleon, Ohio

Legal description of property:

The North part of Lot No. 1 in Susan J. Rowen's Fairground Addition to the City of Napoleon, Ohio (See attached description)

Brief description of request:

A partially completed dwelling house now stands upon this property which does not comply with the set-back requirements. It is requested that the set-back requirements be waived inasmuch as said dwelling is in line with other houses adjacent to it.

Note: All petitions require a minimum of 15 days notice for Public Hearing.

The owners of the premises is(are): Name Edward H. Fruth estate  
(legal or beneficial owner)  
Address c/o Lloyd R. Fruth  
557 West Main Street  
Napoleon, Ohio 43545  
Phone ( 419 ) 592 - 8651

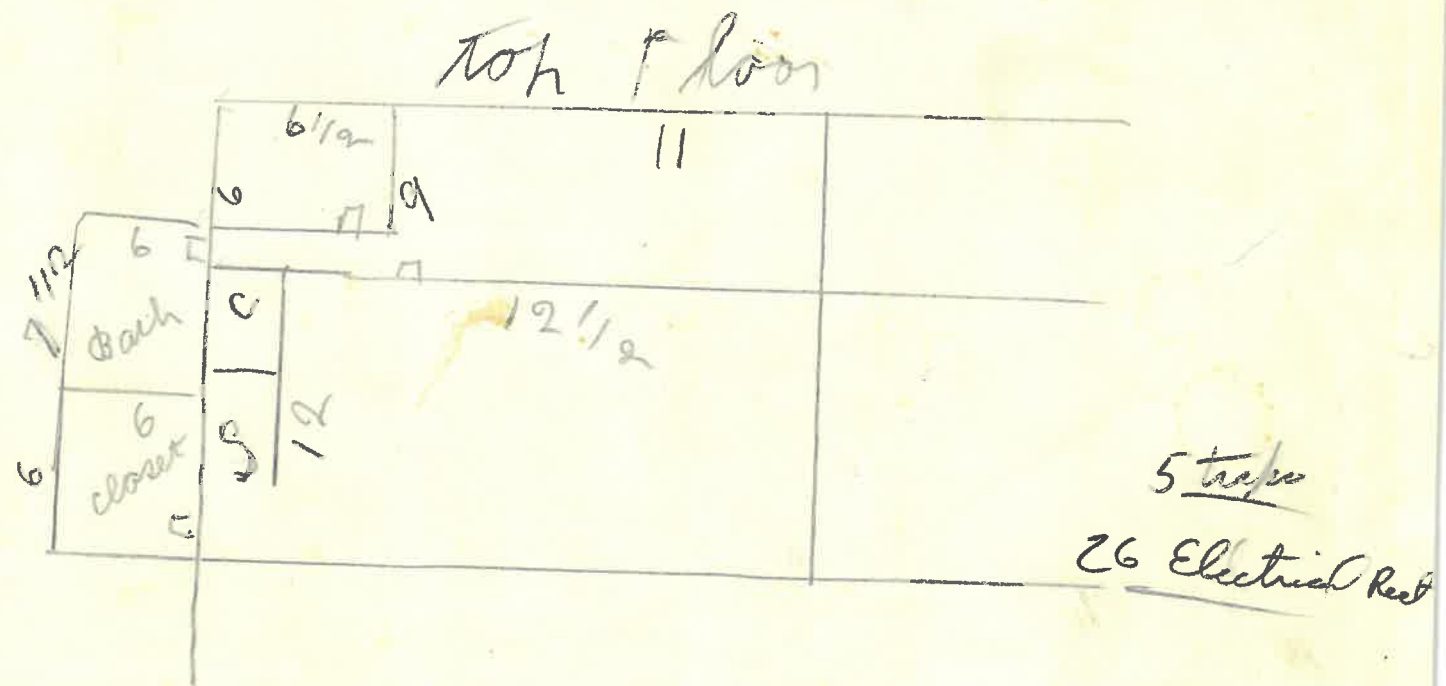
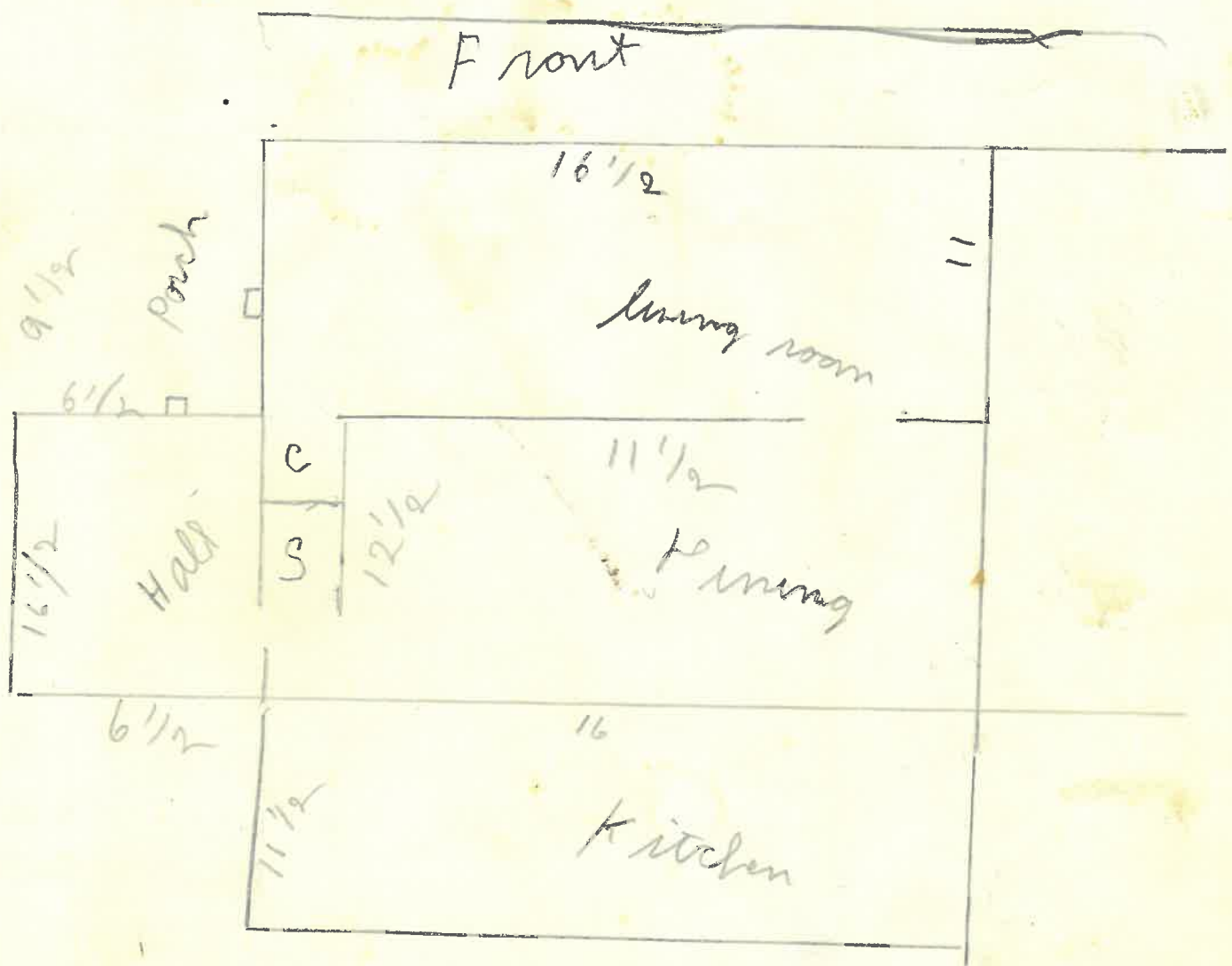
This application is filed on behalf of the owner by:

Name Lloyd R. Fruth Esq.  
Address 557 W Main  
Phone ( ) 592 - 8651

RECEIVED: \_\_\_\_\_ 19 \_\_\_\_\_

MAY 10 1964  
CITY OF NAPOLEON





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1111

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CITY OF NAPOLEON  
 BUILDING INSPECTION DEPARTMENT  
 APPLICATION FOR BUILDING PERMIT  
 (Please print or type)

The undersigned hereby makes application for construction, installation, or alteration work as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Building Codes.

Location of project 403 HUDSON Cost of project \$10,000.00  
 Owner's Name ROBERTO HUESCA Address 321 SHORT ST.  
 Contractor SELF Telephone No. \_\_\_\_\_  
 Address \_\_\_\_\_

Lot Information: (Not required for siding job)

Lot No. \_\_\_\_\_ Subdivision \_\_\_\_\_  
 Zoning District \_\_\_\_\_ Lot Size \_\_\_\_\_ ft. X \_\_\_\_\_ ft. Area \_\_\_\_\_ sq. ft.  
 Setbacks: Front \_\_\_\_\_ Right Side \_\_\_\_\_ Left Side \_\_\_\_\_ Rear \_\_\_\_\_

Work Information:

Residential  Commercial \_\_\_\_\_ Industrial \_\_\_\_\_  
 New Construction \_\_\_\_\_ Addition \_\_\_\_\_ Remodel   
 Accessory Building \_\_\_\_\_ Siding \_\_\_\_\_

Brief Description of Work:----- (Specific Type)

PARTITIONS FOR ROOMS  
TOTAL REMODEL into a dwelling

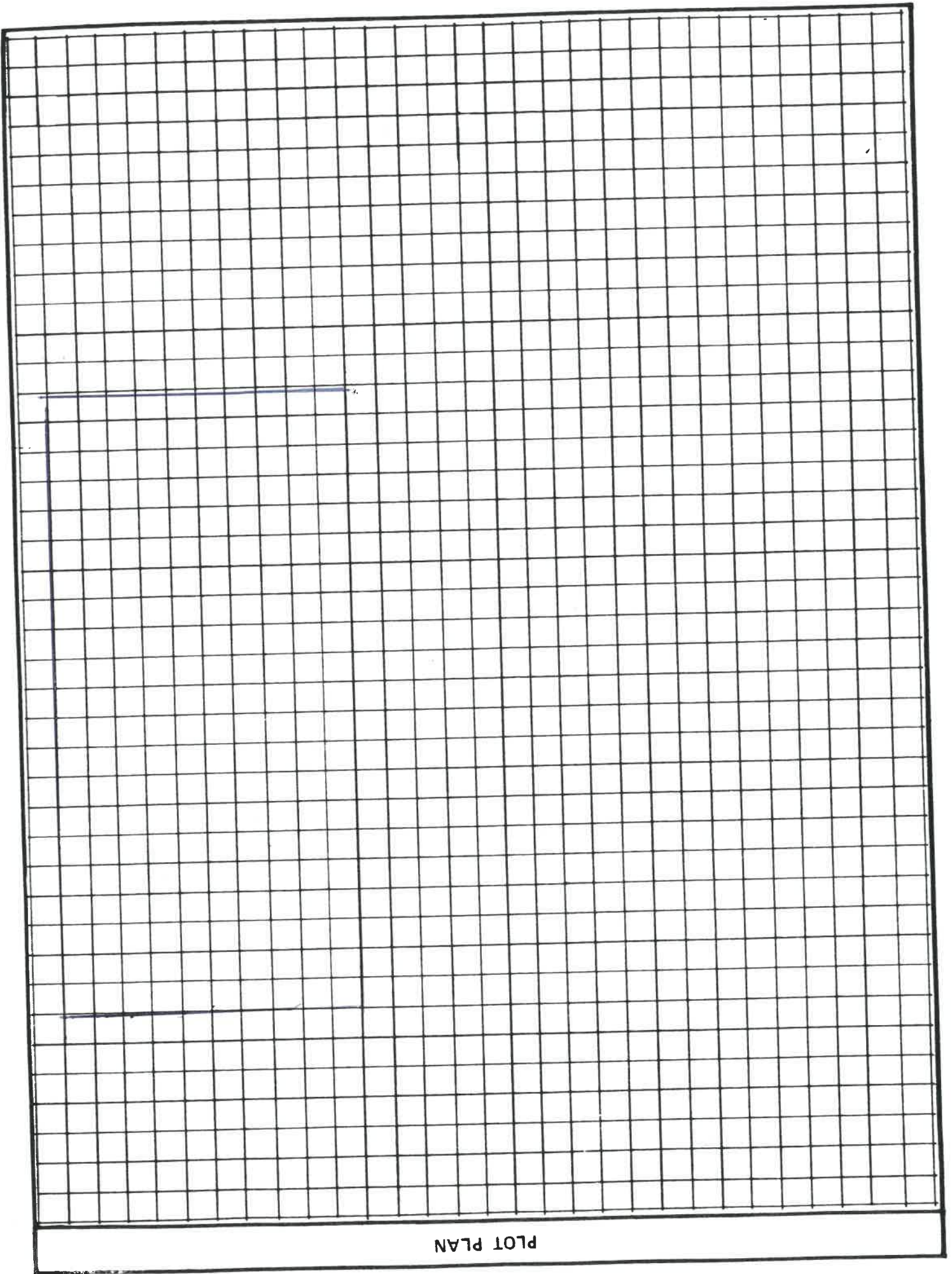
Size: Length \_\_\_\_\_ Width \_\_\_\_\_ No. of Stories \_\_\_\_\_  
 Area: 1st Floor \_\_\_\_\_ sq. ft. Basement \_\_\_\_\_ sq. ft.  
 2nd Floor \_\_\_\_\_ sq. ft. Accessory Bldg. \_\_\_\_\_ sq. ft.  
 3rd Floor \_\_\_\_\_ sq. ft. Other \_\_\_\_\_ sq. ft.

Additional Information: \_\_\_\_\_

APPLICATION FOR PERMIT SHALL BE ACCOMPANIED BY TWO COMPLETE SETS OF PLANS INCLUDING: ELEVATIONS, FLOOR PLANS, CROSS SECTIONS AND PLOT PLAN. IF ADDITION OR REMODELING, SHOW ALL EXISTING STRUCTURES AND THEIR SIZE AND LOCATION. ALL PLANS SHALL BE DRAWN TO SCALE.

Date 11-18-85 Applicant's Signature Roberto L. Huesca

PERMIT NO. 1119  
 PERMIT FEE \$ 24.00



PLOT PLAN

CITY OF NAPOLEON  
BUILDING INSPECTION DEPARTMENT  
APPLICATION FOR ELECTRICAL PERMIT  
(Please print or type)

The undersigned hereby makes application for installation or replacement of electrical equipment as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Electrical Codes.

Owner's Name ROBERTO HUESCA Address 321 SHORT

Electrical Contractor OWNER Telephone No. \_\_\_\_\_

Address \_\_\_\_\_

General Contractor OWNER Telephone No. \_\_\_\_\_

Address \_\_\_\_\_

Location of Project 403 HUDSON Cost of Project \$10,000<sup>00</sup>

Work Information:

Residential SINGLE Commercial \_\_\_\_\_ Industrial \_\_\_\_\_  
No. Units

New \_\_\_\_\_ Service Change \_\_\_\_\_ Rewiring \_\_\_\_\_ Additional Wiring \_\_\_\_\_

Brief Description of Work: NEW WIRING IN CONVERSION  
OF STRUCTURE TO RESIDENTIAL DWELLING

Size of proposed service entrance 100 AMP Number of new circuits 12

Type of proposed service entrance 100 amp Underground \_\_\_\_\_ Overhead

Require Temporary Electric \_\_\_\_\_ (Yes or No)

Total Floor Area - Commercial and Industrial only \_\_\_\_\_ sq. ft.

Additional Information: \_\_\_\_\_

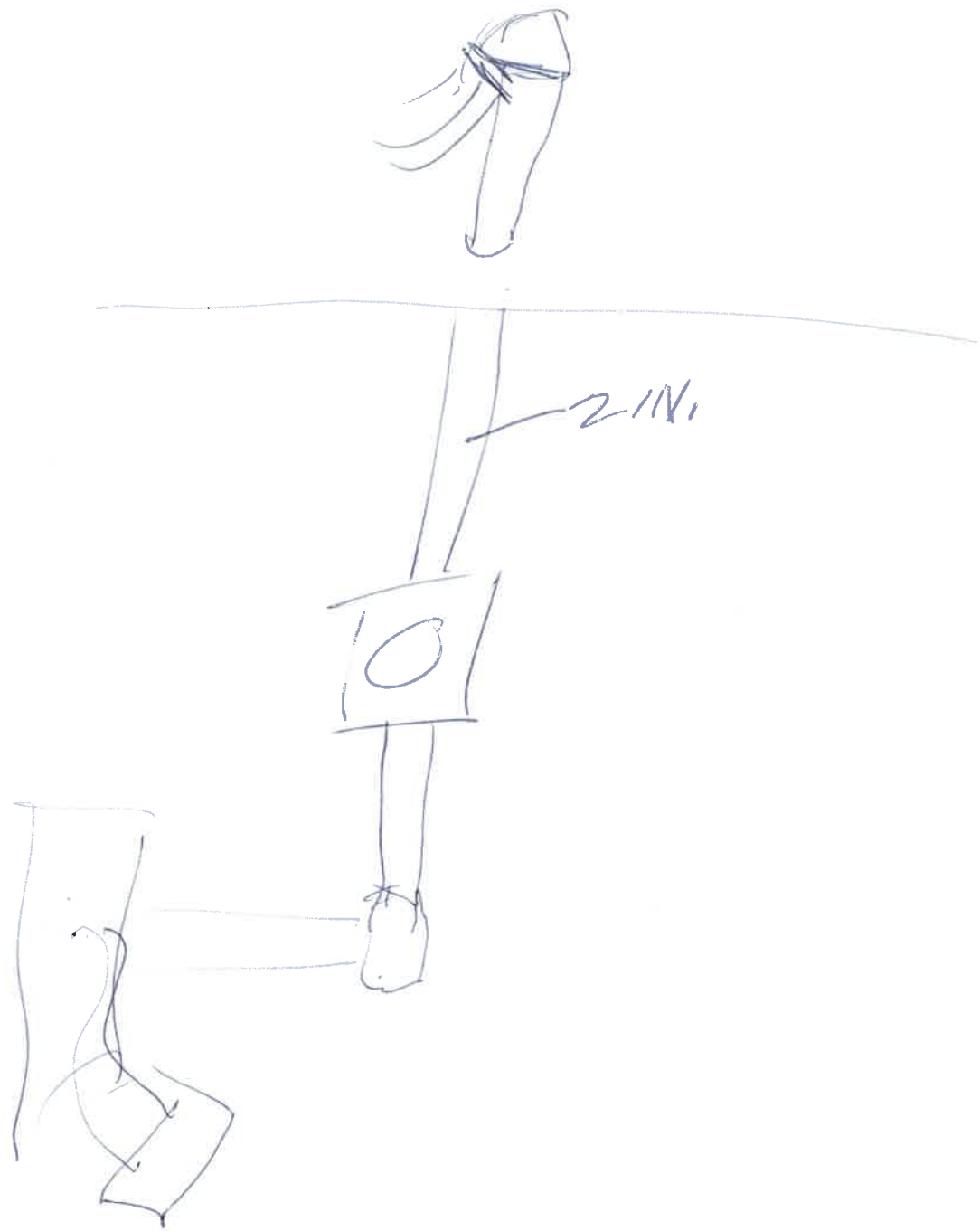
\*Ground fault circuit interrupter protection is required on all 120-volt single phase, 15 and 20 amp. Circuits which are part of a temporary electric service; and also on bathroom, outdoor, and garage receptacles in all dwelling units. Art. 220-8 N.E.C.

\*Application for permit shall be accompanied by two complete sets of plans including: Electrical layout and riser diagram. (For commercial and industrial work only).

Date 11/19/85

Applicant's Signature Roberto L. Huesca

PERMIT NO. 1191  
PERMIT FEE \$ 1.00





CITY OF NAPOLEON  
 BUILDING INSPECTION DEPARTMENT  
 APPLICATION FOR PLUMBING PERMIT  
 (Please print or type)

The undersigned hereby makes application for the installation or replacement of plumbing work as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Plumbing Codes. (1, 2 and 3 family dwelling units only).

Owner's Name Roberto Huesca Address 321 Short

Plumbing Contractor Owner Telephone No. \_\_\_\_\_  
 Address \_\_\_\_\_

General Contractor Owner Telephone No. \_\_\_\_\_  
 Address \_\_\_\_\_

Location of Project 403 Gaudreau Cost of Project 10,000.00

Work Information:

No. of dwelling units 1 New  Replacement \_\_\_\_\_ Addition \_\_\_\_\_

Brief description of work: Plumbing for new single family dwelling

Is water tap required YES Size 1" Type of Pipe \_\_\_\_\_

Is sewer tap required YES Size \_\_\_\_\_ Type of Pipe \_\_\_\_\_

Type of Water Distribution pipe \_\_\_\_\_

Type of Drainage, Waste and Vent Pipe PVC

Size of main building drain 4" Size of main vent pipe 3"

Water closets 1 Bathtubs 1 1 1/2 Shower \_\_\_\_\_  
 No. Trap Size No. Trap Size

Lavatories 1 1 1/2 Kitchen Sink 1 1 1/2 Disposal \_\_\_\_\_  
 No. Trap Size No. Trap Size No. Trap Size

Dishwasher \_\_\_\_\_ Clothes Washer 1 1 1/2 Other \_\_\_\_\_  
 No. Trap Size No. Trap Size No. Trap Size

All installations are subject to plumbing tests and/or inspections.

Date 11/19/85 Applicant's Signature X Roberto L. Huesca

PERMIT NO. 1119  
 PERMIT FEE \$ 8.00



100 Nov 7-28-76

119 6.00

CITY OF NAPOLEON  
BUILDING INSPECTION DEPARTMENT  
APPLICATION FOR HEATING PERMIT  
(PLEASE PRINT OR TYPE)

The undersigned hereby makes application for the installation, replacement or alteration of a heating system or device as herein specified, agree to do all such work in strict accordance with the City of Napoleon's adopted Mechanical Code for 1, 2 and 3 Family Buildings.

Owner's Name Roberta Harsco Address 321 SHRY

Contractor's Name Owner Address \_\_\_\_\_ Tel \_\_\_\_\_

BUILDING INFORMATION:

Single Family  Double Family \_\_\_\_\_ Multiple \_\_\_\_\_ New Construction \_\_\_\_\_  
Addition \_\_\_\_\_ Remodel \_\_\_\_\_ Replacement \_\_\_\_\_ No. of Stories 1

DESCRIPTION OF WORK

Heating System - Warm Air  Hot Water \_\_\_\_\_ Steam \_\_\_\_\_ Electric \_\_\_\_\_

Unit Heaters \_\_\_\_\_ Unit Gas Heaters \_\_\_\_\_ Other \_\_\_\_\_

Type - Gravity \_\_\_\_\_ Forced \_\_\_\_\_ Radiant \_\_\_\_\_

No. of Thermostatical Heating Zone \_\_\_\_\_

Hot Water - One Pipe \_\_\_\_\_ Two Pipe \_\_\_\_\_ Series Loop \_\_\_\_\_

Electric Heat - No. of Circuits \_\_\_\_\_ Other \_\_\_\_\_

Total Heat Loss of Area to be Heated \_\_\_\_\_

Rated Capacity of Furnace/Boiler \_\_\_\_\_

No. of Furnaces 1 No. of Hot Air Runs 5

No. of Hot Water Radiators \_\_\_\_\_ Type of Fuel GAS

Heating Units Located: Crawl Space \_\_\_\_\_ Floor Level \_\_\_\_\_ Suspended \_\_\_\_\_

Roof or Exposed to Outside Air \_\_\_\_\_ Attic \_\_\_\_\_ Other Basement

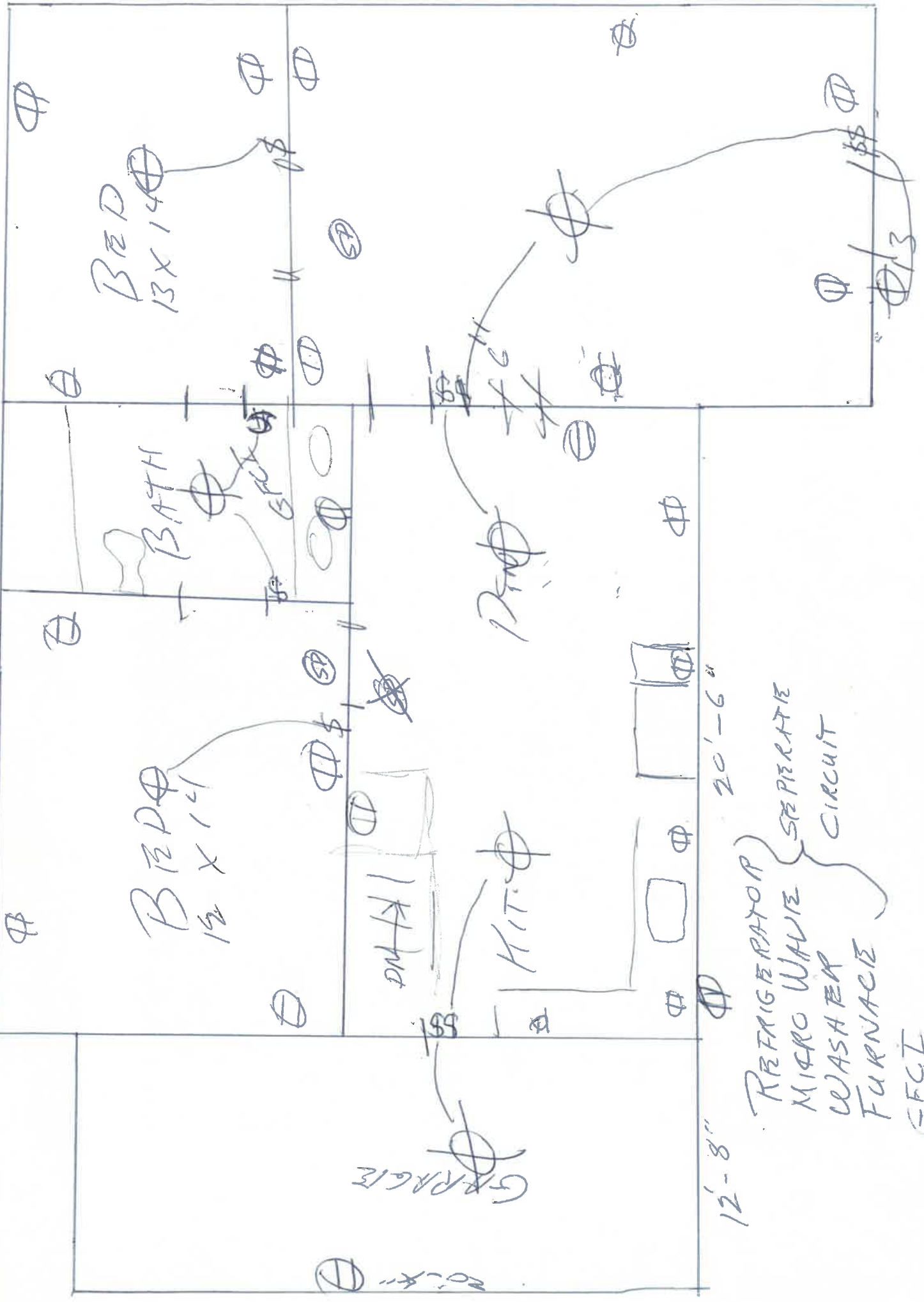
APPLICATION FOR PERMIT SHALL BE ACCOMPANIED BY TWO COMPLETE SETS OF PLANS INCLUDING: LOCATION OF FURNACE OR UNIT HEATERS AND SIZE AND LOCATION OF FEEDER DUCTS AND RETURN AIR DUCTS. ALL PLANS SHALL BE DRAWN TO SCALE

ESTIMATED COST OF COMPLETED PROJECT: \_\_\_\_\_

DATE 11/19/85 APPLICANT'S SIGNATURE Roberta L. Harsco  
OWNER-CONTRACTOR-AGENT



38" 6"



3 REC  
SMOKER DETECTOR



No. 431

CERTIFICATE OF OCCUPANCY  
THE CITY OF NAPOLEON

ENGINEERING DEPARTMENT  
DIVISION OF INSPECTION

*U D I O  
S E E  
R S O R E*

This is to certify that the Building or Land as herein described complies with all the building and health laws and ordinances and with the provisions of the Zoning Ordinance.

Location of Occupancy ..... 403 Hudson Street ..... Occupancy ..... Residence (1 - Family)

Owner of Property ..... Roberto Huesca ..... Address ..... 321 Short Street

Issued to ..... Roberto Huesca ..... Address ..... 321 Short Street

Zoning ..... B ..... Bldg. Permit No. .... 1119

Substantial qualifications of occupancy .....

This certificate is issued by the City Building Inspector, as provided by law, and is to certify that construction is completed substantially in conformity with the approved plans and permission is hereby granted to occupy such building in compliance with such legal use and occupancy as authorized under the provisions of the ordinances of the City of Napoleon.

Issued this ..... 10 ..... day of ..... December ..... 19 86

This is a valuable record for owner or lessee and should be so preserved.

Signed .....  
~~XXXXXXXXXXXXXXXXXXXX~~  
Law Director, City of Napoleon





No. ... ~~301~~ 451 ...

CERTIFICATE OF OCCUPANCY  
THE CITY OF NAPOLEON

ENGINEERING DEPARTMENT  
DIVISION OF INSPECTION

This is to certify that the Building or Land as herein described complies with all the building and health laws and ordinances and with the provisions of the Zoning Ordinance.

1010 DEC  
1512 R

Location of Occupancy ... 403 HUDSON ST ... Occupancy ... RESIDENCE (1-FRM)

Owner of Property ... ROBERTO HUESCA ... Address ... 321 SHOOT ST

Issued to ... ROBERTO HUESCA ... Address ... 321 SHOOT ST

Zoning ... B ... Bldg. Permit No. ... 1119

Substantial qualifications of occupancy .....

This certificate is issued by the City Building Inspector, as provided by law, and is to certify that construction is completed substantially in conformity with the approved plans and permission is hereby granted to occupy such building in compliance with such legal use and occupancy as authorized under the provisions of the ordinances of the City of Napoleon.

Issued this ... 10 ... day of ... DEC ... 19 ... 86

This is a valuable record for owner or lessee and should be so preserved.

Signed ...  
City Building Inspector  
LAW DIRECTOR CITY OF NAPOLEON



No. 431

CERTIFICATE OF OCCUPANCY  
THE CITY OF NAPOLEON

ENGINEERING DEPARTMENT  
DIVISION OF INSPECTION

This is to certify that the Building or Land as herein described/complies with all the building and health laws and ordinances and with the provisions of the Zoning Ordinance.

Location of Occupancy: 403 Hudson Street aka / Hudson Ave  
Occupancy: Residence (1 - Family)

Owner of Property: Roberto Huesca  
Address: 321 Short Street

Issued to: Roberto Huesca  
Address: 321 Short Street

Zoning: B  
Bldg. Permit No.: 1119

Substantial qualifications of occupancy \* *As interpreted and approved by former Napoleon City Building Inspector Richard H. Hagin*

This certificate is issued by the City Building Inspector, as provided by law, and is to certify that construction is completed substantially in conformity with the approved plans and permission is hereby granted to occupy such building in compliance with such legal use and occupancy as authorized under the provisions of the ordinances of the City of Napoleon.

Issued this 10 day of December 19 86

This is a valuable record for owner or lessee and should be so preserved.

Signed: [Signature]  
Law Director, City of Napoleon

*VOID*  
*substantially \**  
*SEN NEW 1508*



No. 431

CERTIFICATE OF OCCUPANCY  
THE CITY OF NAPOLEON

ENGINEERING DEPARTMENT  
DIVISION OF INSPECTION

*NOISE PERMITS*

This is to certify that the Building or Land as herein described complies with all the building and health laws and ordinances and with the provisions of the Zoning Ordinance.

Location of Occupancy ..... 403 Hudson Street ..... Occupancy ..... Residence (1 - Family)

Owner of Property ..... Roberto Huesca ..... Address ..... 321 Short Street

Issued to ..... Roberto Huesca ..... Address ..... 321 Short Street

Zoning ..... B ..... Bldg. Permit No. .... 1119

Substantial qualifications of occupancy ..... *THIS CERTIFICATE IS BEING ISSUED*

*CITY CODES ARE 1119 ISSUED WHOLE BY FRANK HAVANA*

*WAVE OF RESPONSIBILITY GRANTED BY THE CITY ENGINEER*

This certificate is issued by the City Building Inspector, as provided by law, and is to certify that construction is completed substantially in conformity with the approved plans and permission is hereby granted to occupy such building in compliance with such legal use and occupancy as authorized under the provisions of the ordinances of the City of Napoleon.

Issued this 10 day of December 19 86

This is a valuable record for owner or lessee and should be so preserved. Signed .....  
CITY ENGINEER

Law Director, City of Napoleon

*SO GOVERNOR FOR APPROVAL*









# UAW-GM LEGAL SERVICES PLAN

201 E. Second Street • Defiance, Ohio 43512 • (419) 782-2253

AL ALBRIGHT  
Managing Attorney

CHARLON K. DEWBERRY  
Supervising Attorney

REBECCA S. FOX  
PETER G. OVERSTREET  
JOHN D. HARNISHFEGER  
DEBORAH K. SHUGAR  
Staff Attorneys

April 16, 1986

COPY

Keith Muehlfeld, Esquire  
Attorney at Law  
555 Monroe Street  
Napoleon, Ohio 43545

Re: Roberto Huesca  
Our File No. 85-367-1463

Dear Mr. Muehlfeld:

I have been advised by my client that the inspection department of Napoleon is continuing to harass and give my clients problems with regard to the Hudson Drive property. It was my understanding that once the council had made its decision to allow the Huescas to remodel the Hudson Drive property into a single family dwelling that the City would cooperate with that effort. It was also my understanding that once the permits were issued and the necessary release was signed by my clients that the City would make its inspections according to the applicable building, zoning, and housing codes for the City of Napoleon.

My clients have advised me that they have run into difficulty in getting the City inspectors to do their job; to wit, they have refused on several occasions to come out to do their inspections.

I have a hard time understanding why a paid public employee, who has a specific job function, can refuse, or is able to refuse to execute his job responsibilities. My clients are not preventing the City department from inspecting the Hudson Drive property; in fact, they are calling and requesting that the City make the necessary inspection.

It is also my understanding that Mr. Heyman has verbally advised the City inspection department as to the specific things that the Huescas are to do in order to remodel the property. He



Keith Muehlfeld  
April 16, 1986  
Page 2

has also set forth general guidelines with regard to his requirements and the code requirements in his letter to me of March 31, 1986, of which you have a copy.

I would appreciate it very much if you would please discuss this matter with the City Department of Inspection, so that we no longer will have any problems concerning the Hudson Drive property. If there is something additional which the City needs from my client, I request that you contact me. If I do not hear from you, I shall assume that no further documentation is needed from my clients, and the City will stop harassing them. If the harassment continues, I shall advise my clients to take whatever legal steps are necessary in order to protect their rights.

Sincerely,

*Charlon K. Dewberry /cf*

CHARLON K. DEWBERRY  
Attorney at Law

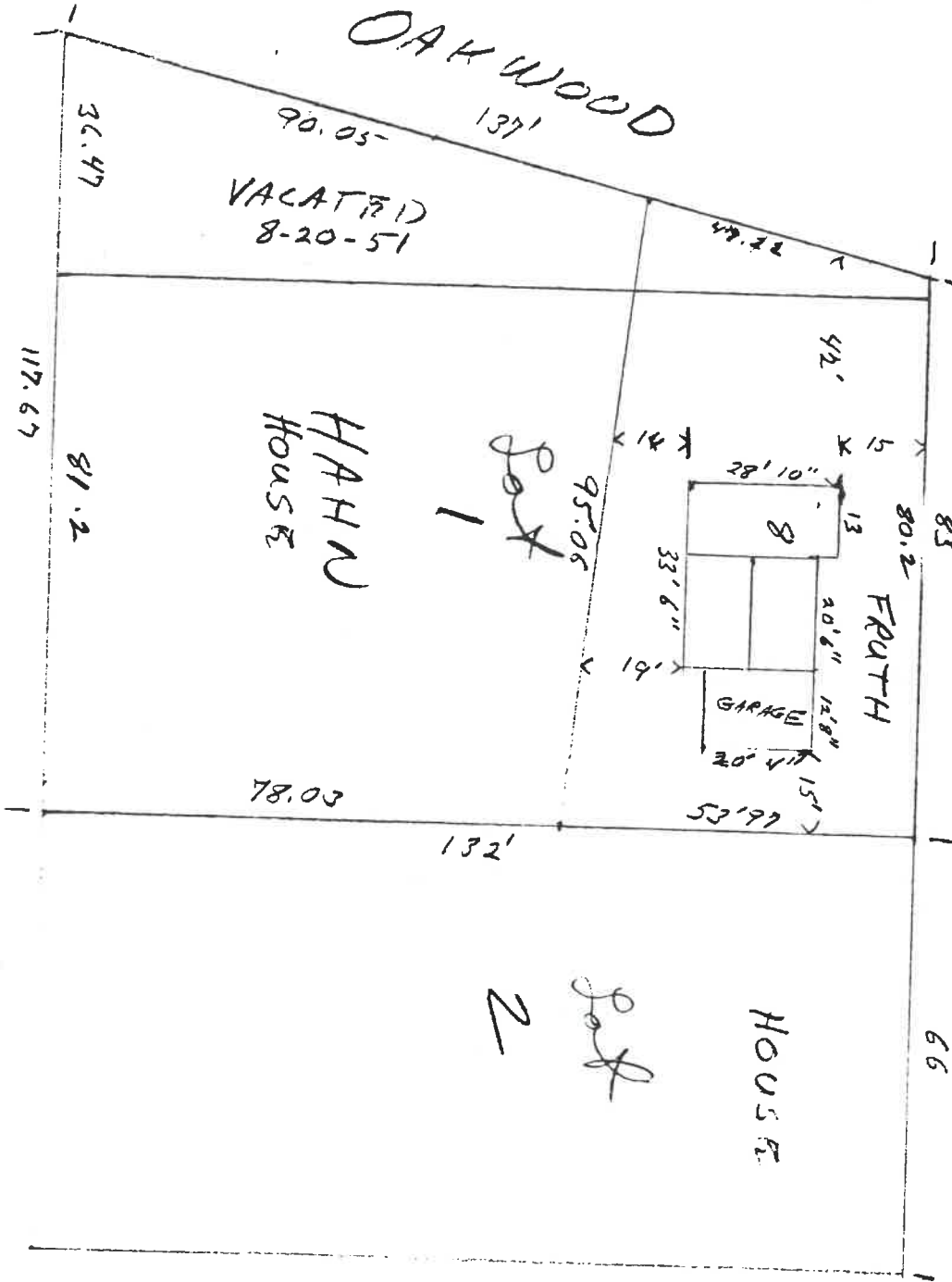
CKD:jf

cc: Mr. and Mrs. Huesca



OAKWOOD

VACATED  
8-20-51



HUDSON

FAIR GROUND ADDITION  
LOT 1 + 2



ON

Henry North (12) d as ster Cor- .5 East 10' South 7.32 Red

Susan 1 est- Fair t said as and nty, and

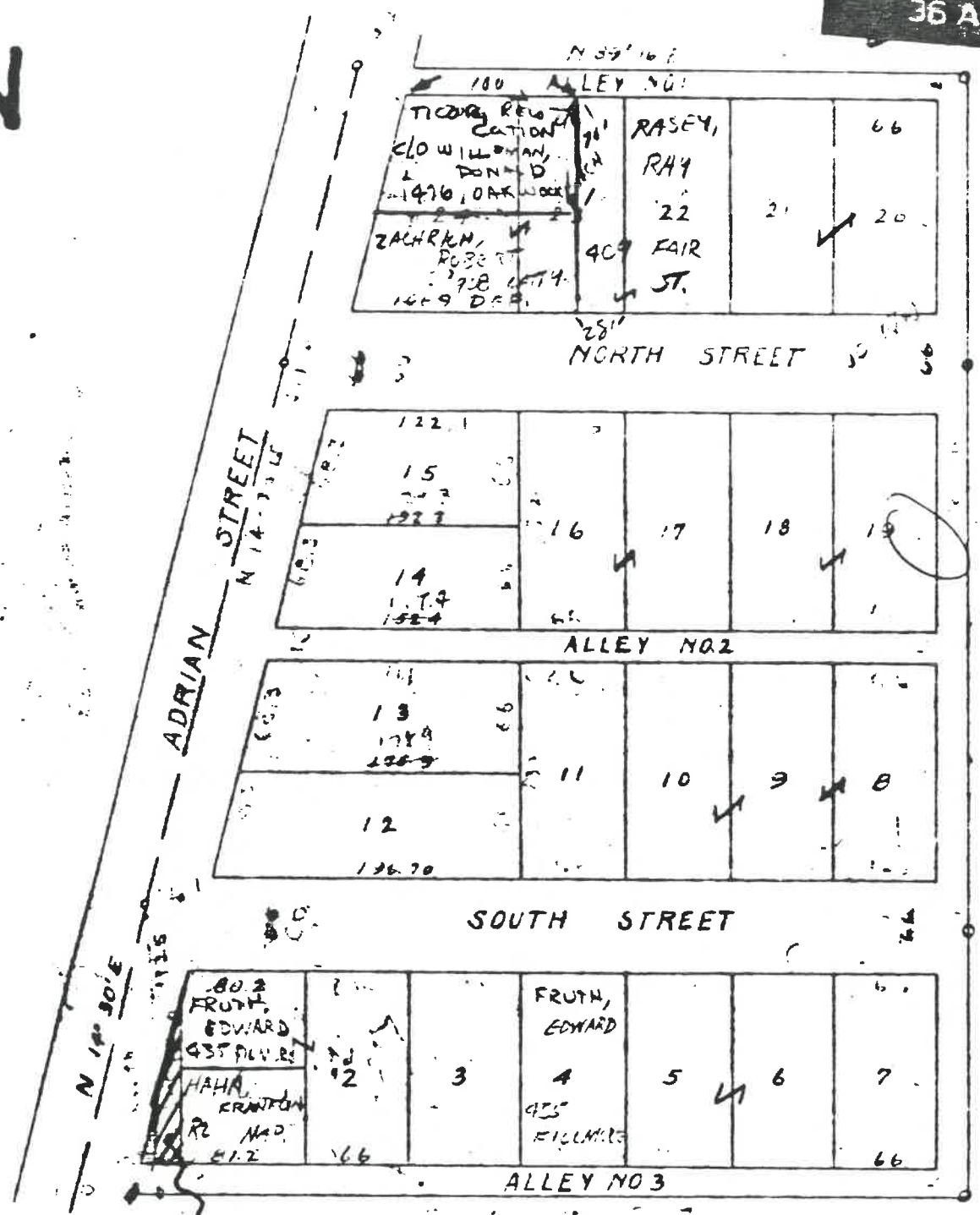
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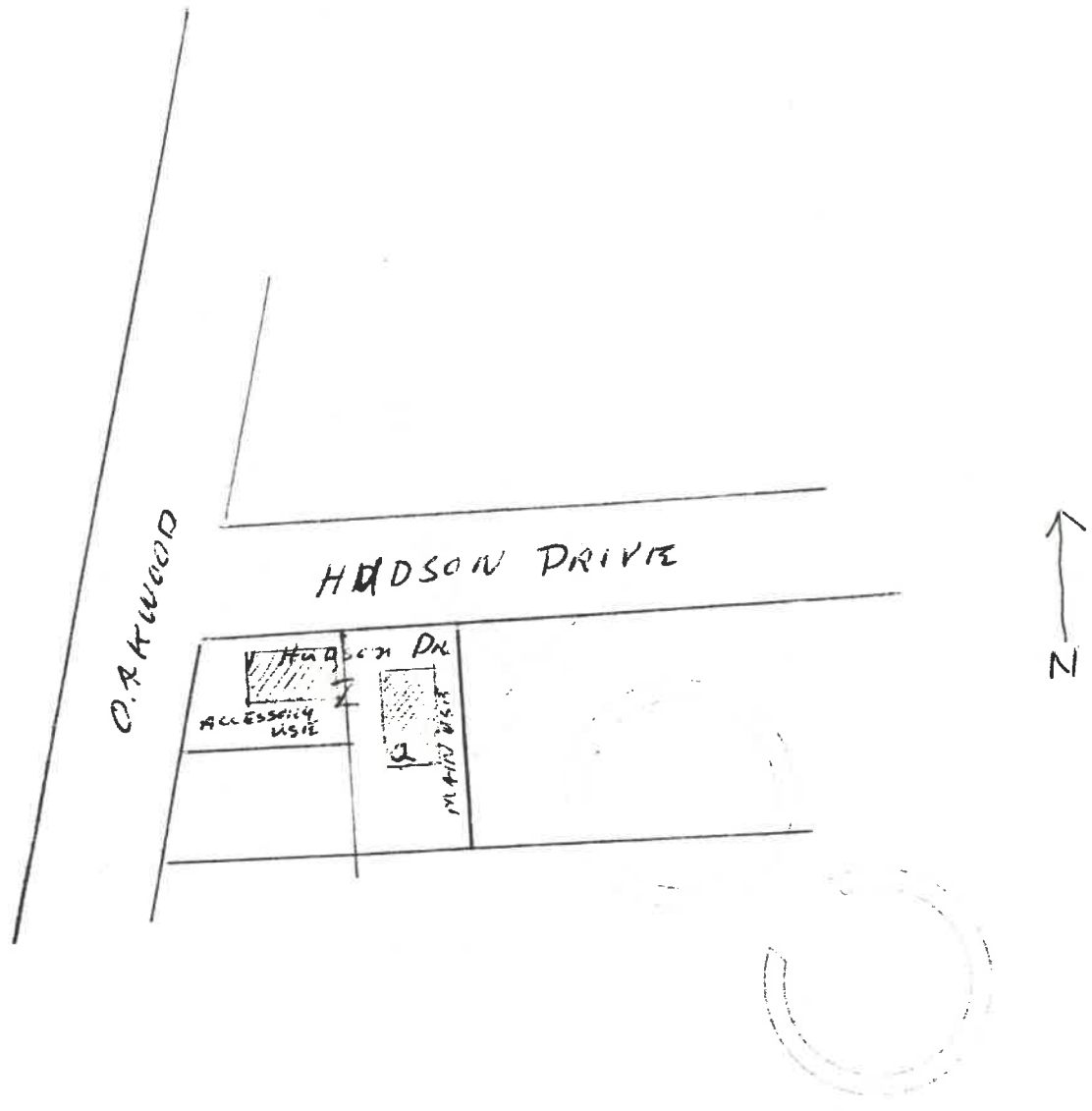


VACATED 8-20-51 ORB No. 258





Plot of 1 HUDSON DRIVE  
LLOYD FRUTH  
357 W. MAIN





184

72

6 foot line

Present  
House

18 feet

House  
moved in

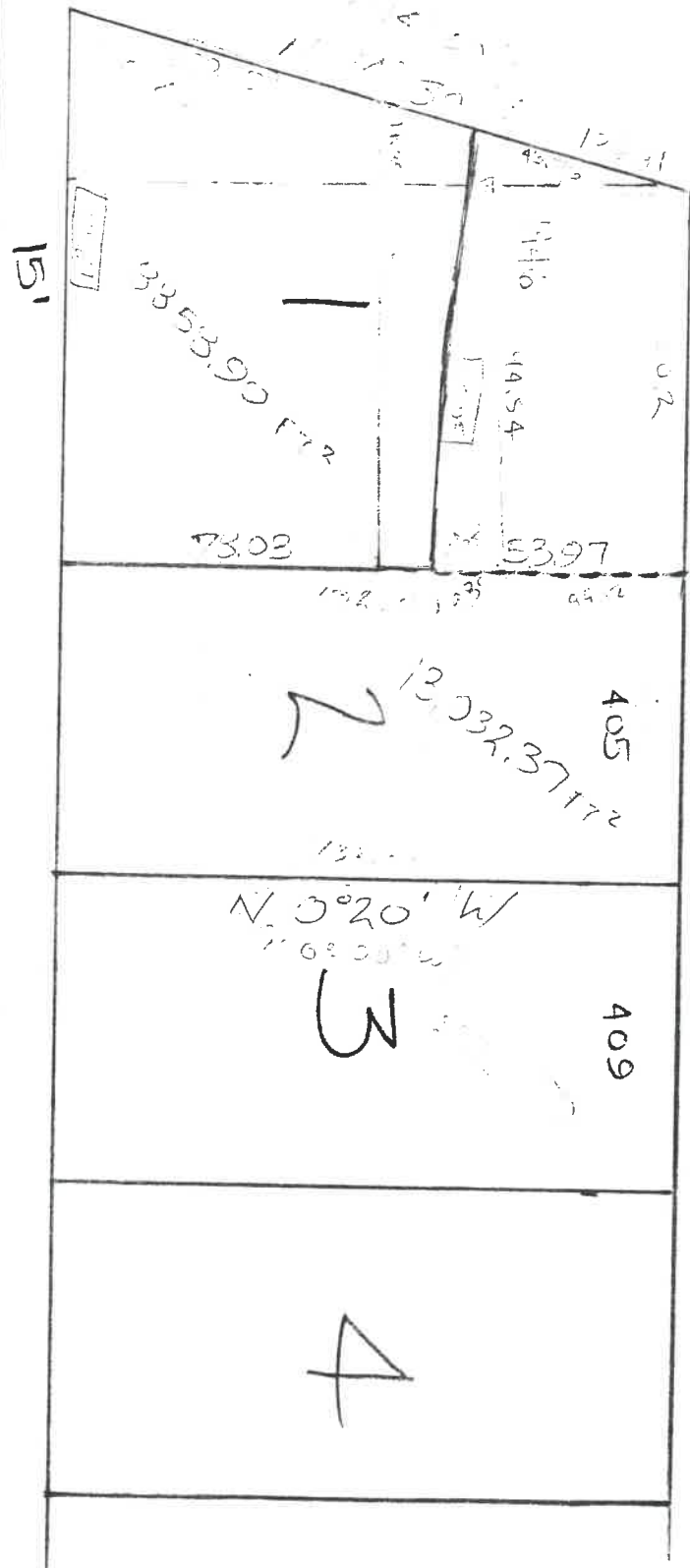
761

10  
2

Street



0 30 40 60 80 100 120



(11 00' 00")

60'

60'

796  
852  
242



1 Hudson Drive

Site Inspection made 29Nov85 1:15 - 3:30 pm by Paul Buehrer on permission of  
Citations of 1983 CABO One and Two Family Dwelling Code Mr. and Mrs. Huesca

#### BUILDING PLANNING

##### R-210 PRIVATE GARAGES

###### R-210.2 SEPARATION REQUIRED

One-hour fire wall must be applied to garage side of wall

#### FOUNDATIONS

##### R-301 GENERAL

###### R-301.2 REQUIREMENTS

The foundation must accomodate all live, dead, and other loads and all lateral loads

Footer must be installed

##### R-302 MATERIALS

###### R-302.1 STANDARDS

Materials for foundations and basement walls must be reasonably safe and meet standards

Original pour was made containing miscellaneous masonry articulus (Exhibit A) included in bottom of to take up space and save material

This procedure destroys the continuity of the pour

The original poured wall must be corrected

Several concrete block contain web fractures

In crawl space to west, these must be replaced

Foundation has settled (South face of brick to west has longitudinal fractures)

##### R-303 FOOTINGS

All exterior and bearing walls shall be supported on footings extending below the frost line

32" footer must be installed in crawl spaces and slab floor

Bearing surface shall be 12" larger than wall width

##### R-309 CRAWL SPACE

###### R-309.1 VENTILATION

South East crawl space requires 0.75 Sq Ft ventilation

North East crawl space requires 0.75 Sq Ft ventilation

West crawl space requires 2.5 Sq Ft ventilation

#### WALL CONSTRUCTION

##### R-402 WOOD

###### R-402.3 CONSTRUCTION

Exterior walls must be constructed in accordance with Figure No. R-402.3.1

Blocking is required in East and West end of joists or 1"x4" Ribbon is cut into stud

$\frac{1}{2}$ " Bolts at 6' oc imbedded into walls 7" as anchors

###### R-402.7 FIRESTOPPING

Required at floor level at top of concrete walls

Required at ceiling level

#### WALL COVERING

##### R-501 GENERAL

###### R-501.1 APPLICATION

Construction must conform with material, test, and construction standards

Some sheathing may contain too high moisture content

###### R-501.2 Installation

Products sensitive to adverse weather shall be protected

Studs may contain too high moisture content





WALL COVERING

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls must be covered with approved materials  
Moisture content of sheathing

R-503.4 MASONRY VENEER GENERAL

Masonry veneer must be installed in accordance with  
Figure No. R-503.4

Metal ties must anchor brick to stud wall

R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved  
metal ties spaced 24" horizontally and 19½" vertically

R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant  
siding

This may not have been applied soon enough to  
prevent water damage

FLOORS

R-601 GENERAL

R-601.2 REQUIREMENTS

Floors must be constructed in accordance with Figure  
No. R-601.2

Header must be installed at stairwell

R-602 DIMENSION LUMBER

R-602.4 LATERAL SUPPORT AND BRIDGING

Joists must be supported at ends by blocking

R-602.8 HEADERS

Openings shall be framed with a header

ROOF-CEILING CONSTRUCTION

R-701 GENERAL

R-701.1 APPLICATION

Roof system must conform to material, test, construction,  
and design standards, Figure R-702.3

See proposed truss diagram

R-702 DIMENSION LUMBER

R-702.1 IDENTIFICATION AND GRADE

Material must be utility grade lumber or better

R-702.2 FRAMING DETAILS

Ridge boards shall be 1" nominal thickness and not less  
in depth than the cut end of the rafter

Ridge board on garage must be replaced, I will waive  
this requirement for main structure

R-702.3 (FIGURE) FRAMING DETAILS

2"x4" purlin to be continuous between braces

2"x4" braces to be 32" oc

See proposed truss diagram

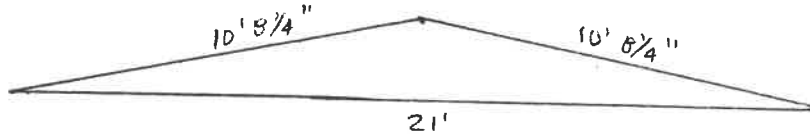


1 Hudson Drive (Page Three)  
 PROPOSED TRUSS DIAGRAM

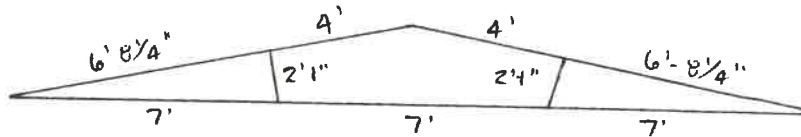
GARAGE 21' Span 2' Peak

Existing		Code Section	Required	Notes
5/8"x4"	Ridge	R-702.2	1"x6"	
2"x4" 16" oc	Rafter	7-M	2"x6" 16" oc	Def=0.53, Span=7'3"
2"x6" 36" oc	Joist	7-D	2"x8" 16" oc	Def=1.05, Span=16'1"
	Purlin	R-702.3Fig	2"x4"	
	Brace	R-702.3Fig	2"x4" 48" oc	

Existing



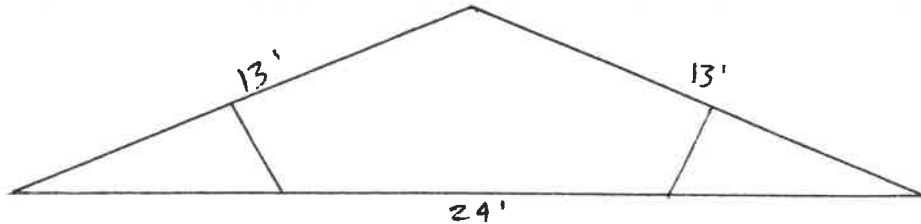
Proposed



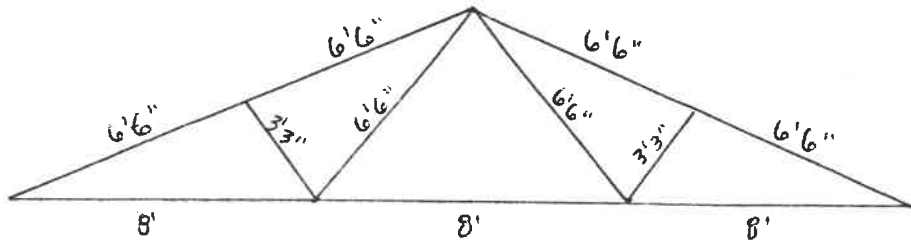
MAIN STRUCTURE 24' Span 5' Peak

Existing		Code Section	Required	Notes
1"x4"	Ridge	R-702.2	1"x6"	
2"x4" 16" oc	Rafter	7-S	2"x4" 16" oc	Def=0.80, Span=6'3"
2"x6" 16"-18" oc	Joist	7-B	2"x6" 16" oc	Def=1.20, Span=12'0"
	Braces	R-701.1	2"x4" 32" oc	

Existing



Proposed





1 HUDSON DRIVE

Site inspection conducted Fri29Nov85 1:15 - 3:30 pm by Paul Buehrer upon request of City Manager and permission of Mr. and Mrs. Huesca  
Site inspection made Thu05Dec85 1:15 - 1:45 pm by John Helberg and Paul Buehrer for confirmation of citations from previous inspection

Citations of 1983 CABO One and Two Family Dwelling Code  
All Citations shall be corrected prior to issuance of Certificate of Occupancy  
Next permit shall include correction of foundation

BUILDING PLANNING

R-210 PRIVATE GARAGES

R-210.2 SEPARATION REQUIRED

1/2" drywall shall be applied to garage side of separation wall

FOUNDATIONS

R-301 GENERAL

R-301.2 REQUIREMENTS

The foundation shall accomodate all live, dead, and other loads and all lateral loads

Footer shall be installed

R-302 MATERIALS

R-302.1 STANDARDS

Materials for foundations and basement walls shall be reasonably safe and meet standards

Original pour was made containing miscellaneous masonry articles included in base of pour to take up space and save material

This practice destroys the adhesiveness of the pour

The original poured wall shall be corrected

Several concrete block contain web fractures

In crawl space to west, these block shall be replaced

Foundation has settled (South face of brick to west, and North face of brick to east contains longitudinal fractures)

R-303 FOOTINGS

All exterior and bearing walls shall be supported on footings extending below the frost line

32" footer shall be installed in crawl spaces and slab floor

Bearing surface shall be 12" larger than wall width

WALL CONSTRUCTION

R-402 WOOD

R-402.3 CONSTRUCTION

Exterior walls shall be constructed in accordance with Figure No. R-402.3.1

1/2" anchor bolts at 6' oc imbedded into walls 7"

R-402.7 FIRESTOPPING

Required at floor level at top of concrete walls

Required at ceiling level

WALL COVERING

R-501 GENERAL

R-501.1 APPLICATION

Construction shall conform with material, test, and construction standards

Exterior and interior sheathing shall be removed and replaced

R-501.2 INSTALLATION

Products sensitive to adverse weather shall be protected

Studs may contain too high moisture content

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls shall be covered with approved materials

Sheathing shall be removed and replaced



## WALL COVERING (CONT)

## R-503 EXTERIOR COVERING (CONT)

## R-503.4 MASONRY VENEER GENERAL

Masonry veneer shall be installed in accordance with Figure No. R-503.4  
Metal ties shall anchor brick to stud wall

## R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved metal ties spaced  
24" horizontally and 19-9/16" vertically, or  
16" horizontally and 29-1/4" vertically

## R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant siding

This may not have been applied soon enough to prevent moisture damage

## FLOORS

## R-601 GENERAL

## R-601.2 REQUIREMENTS

Floors shall be constructed in accordance with Figure No. R-601.2

Header shall be installed at stairwell, same size as floor joists

## R-602 DIMENSION LUMBER

## R-602.2 ALLOWABLE SPANS

## TABLE 6B ALLOWABLE SPANS FOR FLOOR JOISTS - 30 LB LIVE LOAD

In SE bedroom with 12' span, joists shall be 2"x8", 16" oc

In SW bedroom with 14' span, joists shall be 2"x10", 16" oc

## TABLE 6A ALLOWABLE SPANS FOR FLOOR JOISTS - 40 LB LIVE LOAD

In rooms with 12' span, joists shall be either 2"x10", 16" oc,  
or 2"x8", 16" oc with bridging

In rooms with 14' span, joists shall be either 2"x12", 16" oc,  
or 2"x10", 16" oc with bridging

## R-602.4 LATERAL SUPPORT AND BRIDGING

Bridging shall be 1"x3" diagonal wood, approved metal, or 2x solid wood

## R-602.7 FLOOR FRAMING

## TABLE R-402.3.2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

Two sheets of flooring in NE end of structure shall be fastened  
in place properly

Using 6d nails or 16 ga staples, 6" spacing at edges and  
10" spacing on intermediate supports

## R-602.8 HEADERS

Openings shall be framed with a header

## R-605 PLYWOOD

## R-605.2 ALLOWABLE SPANS

TABLE R-602.2.4 MINIMUM THICKNESS FOR PLYWOOD COMBINATION SUBFLOOR-  
UNDERLAYMENT

1/2" plywood shall be added to subfloor to meet 3/4" minimum thickness

## R-605.3 INSTALLATION

## TABLE R-402.3.2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

Using 6d nails or 16 ga staples, 6" spacing at edges and  
10" spacing on intermediate supports

## ROOF-CEILING CONSTRUCTION

## R-701 GENERAL

## R-701.1 APPLICATION

Roof system shall conform to material, test, construction, and design  
standards, Figure R-702.3

Adequate plans are required concerning roof trusses

## R-702 DIMENSION LUMBER

## R-702.1 IDENTIFICATION AND GRADE

Material shall be utility grade lumber or better





ROOF-CEILING CONSTRUCTION (CONT)

R-702 DIMENSION LUMBER (CONT)

R-702.2 FRAMING DETAILS

Ridge boards shall be 1" nominal thickness and not less in depth than the cut end of the rafter

All ridge boards shall be replaced with 1"x6" lumber

R-702.3 FIGURE FRAMING DETAILS

2"x4" purlins to be continuous between braces

2"x4" braces to be 32" oc

Adequate plans are required concerning roof construction

R-702.8 HEADERS

TABLE R-402.6 MAXIMUM ALLOWANCE SPANS FOR HEADERS SUPPORTING WOOD FRAME WALLS

Garage header shall be 2-2"x12" lumber

Window headers shall be 2-2"x6" for up to 4' spans, or

2-2"x8" for 4' to 6' spans

R-402.3.2 FIGURE FRAMING DETAILS

Window framing shall be altered to match figure for header support

Any and all items may be appealed to the Board of Building Appeals



1 Hudson Drive

Site Inspection made 29 Nov 85 1:15 - 3:30 pm by Paul Buehrer on permission of Citations of 1983 CABO One and Two Family Dwelling Code Mr. and Mrs. Huesca

BUILDING PLANNING

R-210 PRIVATE GARAGES

R-210.2 SEPARATION REQUIRED

One-hour fire wall must be applied to garage side of wall

FOUNDATIONS

R-301 GENERAL

R-301.2 REQUIREMENTS

The foundation must accommodate all live, dead, and other loads and all lateral loads

Footer must be installed

R-302 MATERIALS

R-302.1 STANDARDS

Materials for foundations and basement walls must be reasonably safe and meet standards

Original pour was made containing miscellaneous masonry articulus (Exhibit A) included in bottom of to take up space and save material

This procedure destroys the continuity of the pour

The original poured wall must be corrected

Several concrete block contain web fractures

In crawl space to west, these must be replaced

Foundation has settled (South face of brick to west has longitudinal fractures)

R-303 FOOTINGS

All exterior and bearing walls shall be supported on footings extending below the frost line

32" footer must be installed in crawl spaces and slab floor

Bearing surface shall be 12" larger than wall width

R-309 CRAWL SPACE

R-309.1 VENTILATION

South East crawl space requires 0.75 Sq Ft ventilation

North East crawl space requires 0.75 Sq Ft ventilation

West crawl space requires 2.5 Sq Ft ventilation

WALL CONSTRUCTION

R-402 WOOD

R-402.3 CONSTRUCTION

Exterior walls must be constructed in accordance with Figure No. R-402.3.1

Blocking is required in East and West end of joists

or 1"x4" Ribbon is cut into stud

1/2" Bolts at 6' oc imbedded into walls 7" as anchors

R-402.7 FIRESTOPPING

Required at floor level at top of concrete walls

Required at ceiling level

WALL COVERING

R-501 GENERAL

R-501.1 APPLICATION

Construction must conform with material, test, and construction standards

Some sheathing may contain too high moisture content

R-501.2 Installation

Products sensitive to adverse weather shall be protected

Studs may contain too high moisture content

NEGATED  
PERMIT  
010888  
(1 SEP 85)

NEGATED

NEGATED

NEGATED

NEGATED

NEGATED



WALL COVERING

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls must be covered with approved materials  
Moisture content of sheathing

R-503.4 MASONRY VENEER GENERAL

Masonry veneer must be installed in accordance with  
Figure No. R-503.4

Metal ties must anchor brick to stud wall

R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved  
metal ties spaced 24" horizontally and 19½" vertically

R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant  
siding

This may not have been applied soon enough to  
prevent water damage

FLOORS

R-601 GENERAL

R-601.2 REQUIREMENTS

Floors must be constructed in accordance with Figure  
No. R-601.2

Header must be installed at stairwell

R-602 DIMENSION LUMBER

R-602.4 LATERAL SUPPORT AND BRIDGING

Joists must be supported at ends by blocking

R-602.8 HEADERS

Openings shall be framed with a header

ROOF-CEILING CONSTRUCTION

R-701 GENERAL

R-701.1 APPLICATION

Roof system must conform to material, test, construction,  
and design standards, Figure R-702.3

See proposed truss diagram

R-702 DIMENSION LUMBER

R-702.1 IDENTIFICATION AND GRADE

Material must be utility grade lumber or better

R-702.2 FRAMING DETAILS

Ridge boards shall be 1" nominal thickness and not less  
in depth than the cut end of the rafter

Ridge board on garage must be replaced, I will waive  
this requirement for main structure

R-702.3 (FIGURE) FRAMING DETAILS

2"x4" purlin to be continuous between braces

2"x4" braces to be 32" oc

See proposed truss diagram

POSSIBLY  
NEGATED  
VERBALLY

POSSIBLY  
NEGATED  
VERBALLY

POSSIBLY  
NEGATED  
VERBALLY

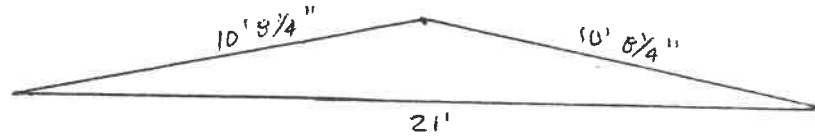
UNDERLAMENT - INSTALL ½" MATERIAL OVER EXISTING - VERBAL AGREEMENT 11-19-85  
RICH, PAUL F. HUESCA



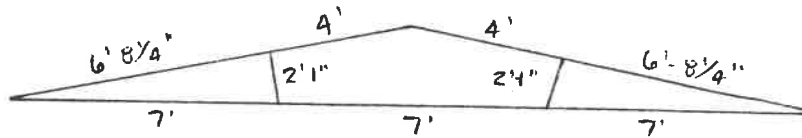
1 Hudson Drive (Page Three)  
 PROPOSED TRUSS DIAGRAM

GARAGE		21' Span	2' Peak	Code Section	Required	Notes
Existing	5/8"x4"	Ridge	R-702.2	1"x6"		
	2"x4" 16" oc	Rafter	7-M	2"x6" 16" oc		Def=0.53, Span=7'3"
	2"x6" 36" oc	Joist	7-D	2"x8" 16" oc		Def=1.05, Span=16'1"
		Purlin	R-702.3Fig	2"x4"		
		Brace	R-702.3Fig	2"x4" 48" oc		

Existing



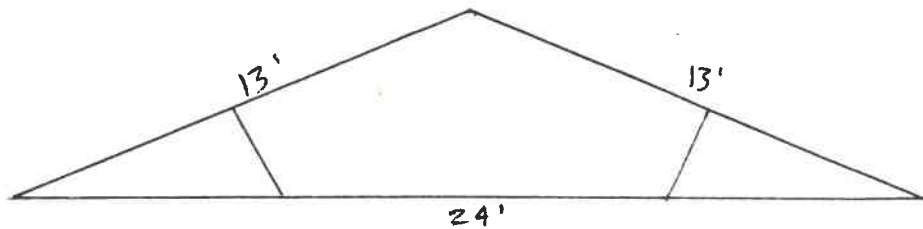
Proposed



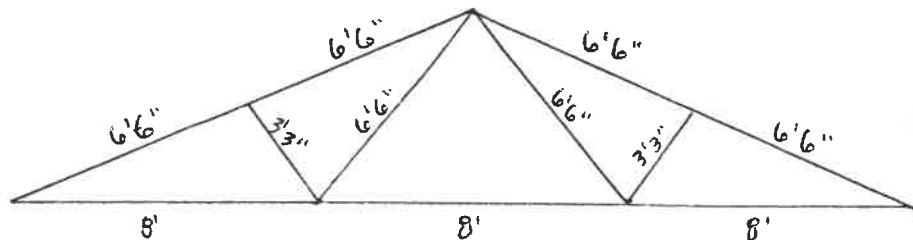
MAIN STRUCTURE 24' Span 5' Peak

MAIN STRUCTURE		24' Span	5' Peak	Code Section	Required	Notes
Existing	1"x4"	Ridge	R-702.2	1"x6"		
	2"x4" 16" oc	Rafter	7-S	2"x4" 16" oc		Def=0.80, Span=6'3"
	2"x6" 16"-18" oc	Joist	7-B	2"x6" 16" oc		Def=1.20, Span=12'0"
		Braces	R-701.1	2"x4" 32" oc		

Existing



Proposed

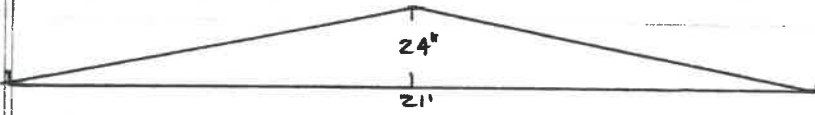


*Handwritten notes:*  
 x 1/2" x 4" R.R.  
 R-702.2

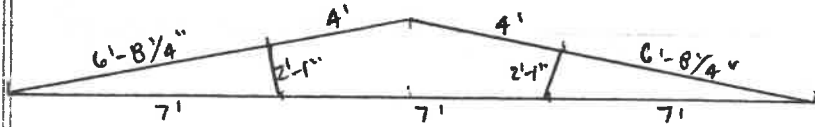




EXISTING

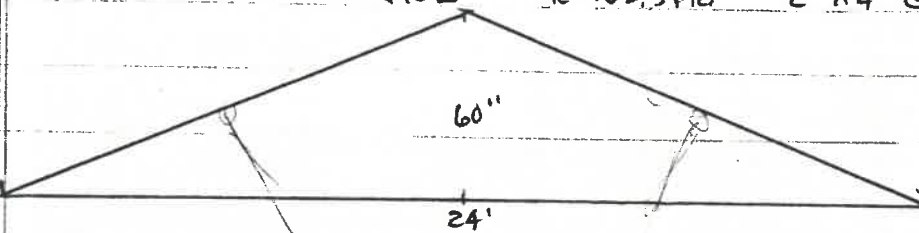


PROPOSED

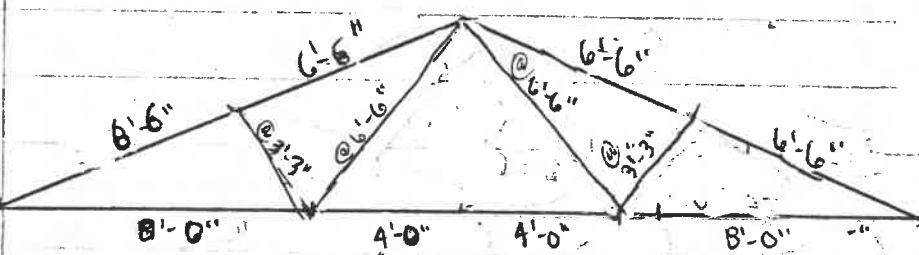


EXISTING		CODE	REQUIRED	
		SEC.		
5/8" x 4"	RIDGE	R-702.2	1" x 4"	DEF = 0.53
2" x 4" 160c	RAFTER	7-M	2" x 6" 160c	SPAN = 7'-3"
2" x 6" 360c	JOIST	7-D	2" x 8" 160c	DEF = 1.05
	PURLIN	R-702.3 FIG	2" x 4"	SPAN = 16'-1"
	BRACE	R-702.3 FIG	2" x 4" @ 48" oc	

EXISTING



PROPOSED



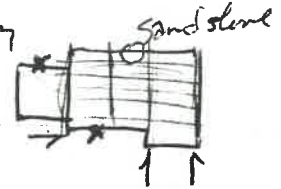
EXISTING		CODE	REQUIRED	
		SEC.		
1" x 4"	RIDGE	R-702.2	1" x 4"	DEF = 0.80
2" x 4" 160c	RAFTER	7-S	2 x 4 160c	SPAN 6'-3"
2" x 6" 16-180c	JOIST	7-B	2 x 6 160c	DEF = 1.20
	PURLIN	R-702.3 FIG	2" x 4"	SPAN = 12'-0"
	BRACE	R-702.3 FIG	2" x 4" @ 48" oc	



29 NOV 85

1:15 PM - 3:30 PM

# HUDSON DRIVE



NO FOOTER UNDER GARAGE PORTION

\* MOISTURE CONTENT IN 2x4'S MOD HIGH

BRICK FACADE NOT ATTACHED TO STRUCTURE

2x6 3/4"

EAST END OF ~~THE~~ <sup>HALL</sup> ROOM - NO 2x8 END JOIST  
BLOCKING ON C WALLS IN JOISTS REQUIRED

ORIGINAL POLAR OF FOUNDATION WALLS  
CONTAINS SANDSTONE BLOCK TOSSED IN  
POOR MIX OF CONCRETE

ENTRANCE INTO CRAWL SPACE WERE LOW

\* CENTRAL CRACKS IN BLOCK

IMPROPER BLOCKING OF CHIMNEY

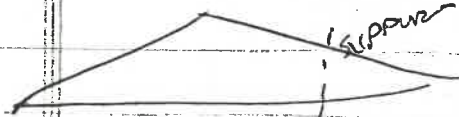
NO END JOIST ON WEST END OF STRUCTURE

PULLED SANDSTONE OFF OF MID SOUTHWALL

TRIE PROBE WENT IN 1/6" TO SOUTH EAST & WEST  
IN CENTER OF WALL

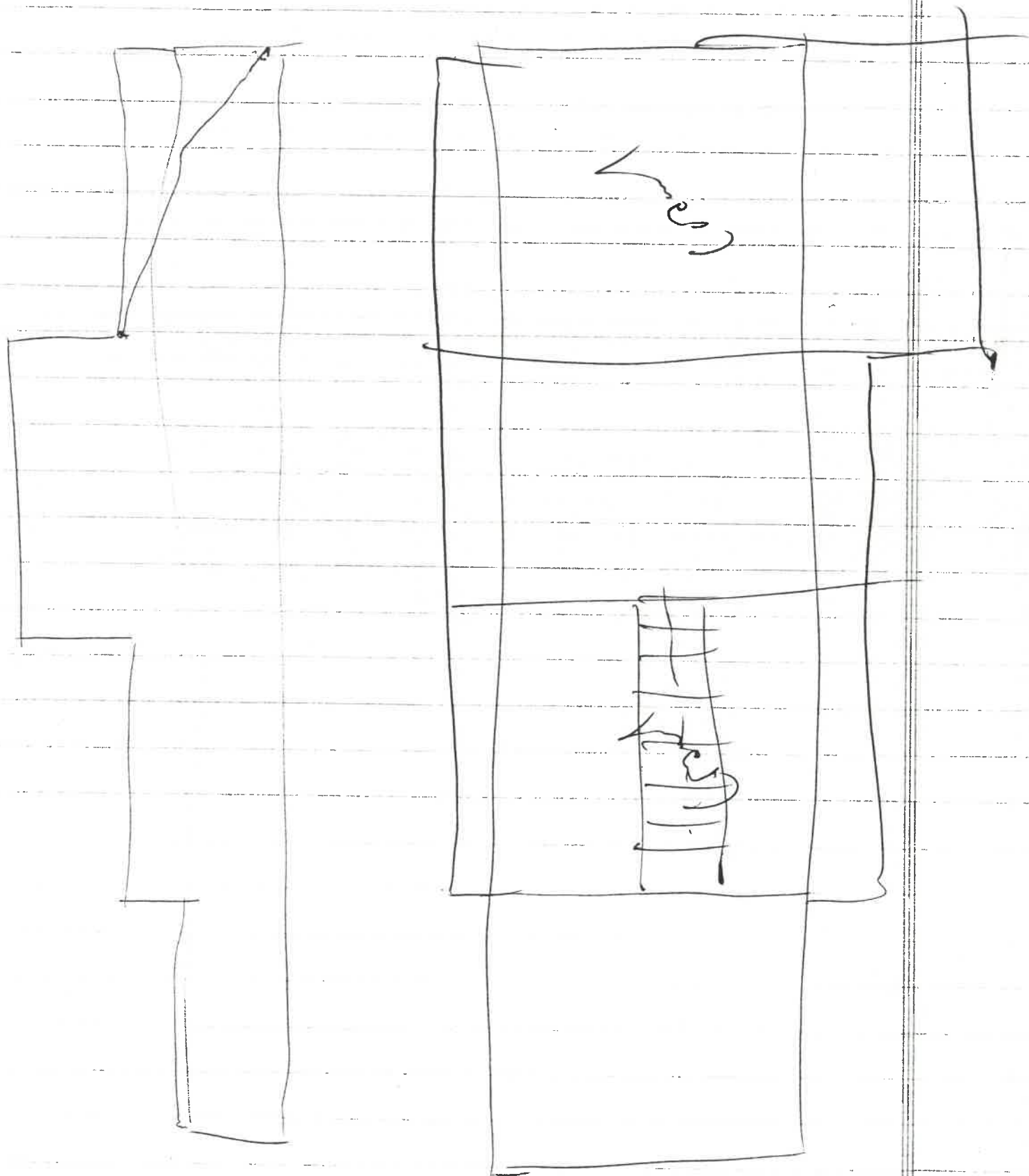
2x6"x4" RIDGE IN GARAGE

Garage	2x4 <sup>Rafter</sup> <sub>16"oc</sub>	21' SPAN	2x6 Joist <sub>36"oc</sub>	2x6" rock
House	2x4 <sup>Rafter</sup> <sub>16"oc</sub>	24' SPAN	2x6 Joist <sub>16-18"oc</sub>	
	1x4" RIDGE		5' peak	



IMPROPER CHIMNEY BRICK LAY







BUILDING PLANNING  
PRIVATE GARAGES  
R-210.2 SEPARATION REQUIRED

FOUNDATIONS MATERIALS  
R-302.1 ONE-HOUR FIRE WALL BETWEEN GARAGE & STRUCTURE  
STANDARDS

R-303 REASONABLY SAFE MATERIALS FOR FOUNDATIONS & BASEMENT WALLS  
FOOTINGS POUR MUST BE CORRECTED  
SEVERAL CONCRETE BLOCK MUST BE REPLACED

ALL EXTERIOR & BEARING WALLS SHALL BE SUPPORTED ON FOOTINGS

EXTENDING BELOW THE FROST LINE

R-309.1 CRAWL SPACE VENTILATION

NE - 0.75 SQ FT REQ

SE - 0.75 SQ FT REQ

W - 2.5 SQ FT REQ

R-301.2 GENERAL ~~FOOTINGS~~ REQUIREMENTS

WALL CONSTRUCTION  
R-402.3 ACCEPTED FOUNDATION DESIGN PRACTICES  
CONSTRUCTION

CONSTRUCTED IN ACCORDANCE WITH R-402.3.1

BLOCKING REQUIRED IN EAST & WEST END OF DWELLING  
FOR 1"X4" RIBBON CUT INTO STUD

~~FIRE STOPS REQUIRED AT ...~~

1/2" BOLTS @ 6' OC IMBEDDED IN FOOTING 7"

BRICK MUST BE ANCHORED TO WOOD STUD WALL 1 anchor per 3 sq ft

R-402.7 FIRESTOPPING

AT FLOOR LEVEL

AT CEILING LEVEL

WALK COVERING

R-501.1 - APPLICATION

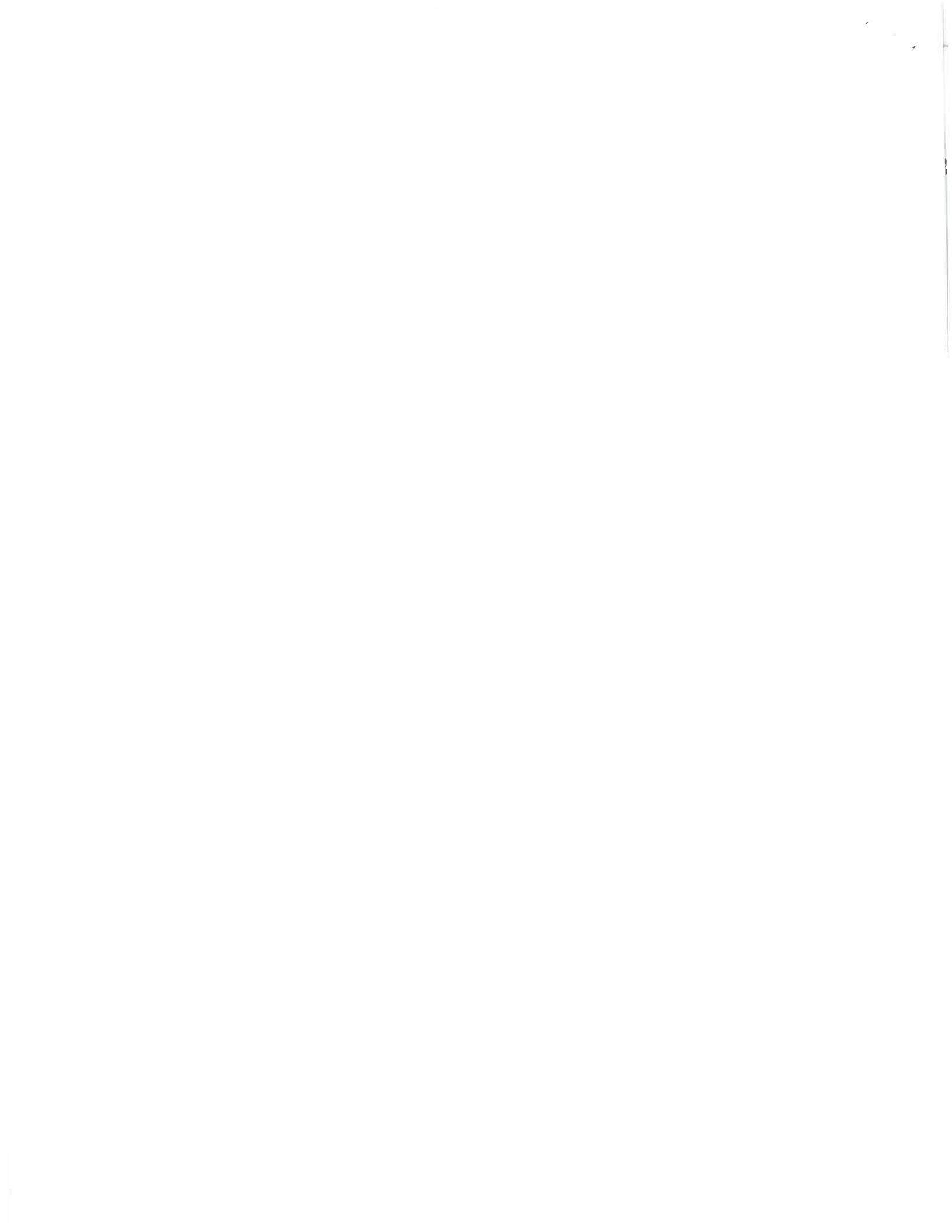
MATERIAL STANDARDS - TEST STANDARDS

R-501.2 INSTALLATION

PRODUCTS SENSITIVE TO ADVERSE WEATHER SHALL BE PROTECTED

IE STUDS

~~R-503~~





R-503.1 EXTERIOR COVERING  
GENERAL

APPROVED MATERIALS

R-503.4 MASONRY VENEER GENERAL

IN ACCORDANCE WITH R-503.4

R-503.4.2 ATTACHMENT

APPROVED VENEER TIES 24" OC HORIZONTALLY 19 1/2" OC VERTIC  
3/4 SQ FT OF WALL AREA

R-503.5 WEATHER PROTECTION

EXTERIOR WALLS SHALL BE COVERED WITH WEATHER RESISTANT SIDING

## FLOORS

DIMENSIONAL LUMBER

R-602.4 LATERAL SUPPORT AND BRIDGING

JOIST  
SUPPORTED AT ENDS BY BLOCKING

R-602.8 - HEADERS

AT STAIRWELL

## ROOF-CEILING CONSTRUCTION

R-701.1 APPLICATION

CONSTRUCTION & DESIGN STANDARDS

DIMENSIONAL LUMBER

R-702.1 IDENTIFICATION & GRADE

R-702.2 FRAMING DETAILS

RIDGE BOARD - 1" LUMBER NOT LESS IN DEPTH

R-702.3 (FIGURE) FRAMING DETAILS

PURLIN CONTINUOUS BETWEEN BRACES 7-T

2" x 4" BRACES @ 4' O.C.



County Auditors Records

Miscellaneous Lot Information

Notice	Jones to Fruth	05 Aug 60
Memo	Permission Denied to Burn	08 Aug 60
Permit Application		
Permit No. 48	Construction Addition to Lumbershed	08 Jun 70
Permit No. 10	Construction Concrete	13 Mar 72
Stop Work Order	Terranova to Fruth	02 Dec 75
Recommendation	Johnson to Tandy	28 Apr 78
Notice	Johnson to Fruth	03 May 78
Review	Hayman to Tandy	06 Jun 80
Notice	Hayman to Fruth	12 Jun 80
Letter	Peper to Hayman	17 Jun 80
Letter	Hayman to Peper	18 Jun 80
Permit	Sewer Tap	03 Nov 80
Letter	Buehrer to Huner Realty	07 Dec 85
Review to Code	Richard Hayman	31 Jul 85
Permit 1088 and Applications	Building	11 Sep 85
Permit 1119 and Applications	Building, Electric, Plumbing, Heating, Water, Sewer VOIDED	19 Nov 85
Review to Code	Paul Buehrer	29 Nov 85

BOARD OF ZONING APPEALS

Application for BZA		10 May 84
Notice of Hearing		29 May 84
Agenda of BZA		29 May 84
Minutes of Meeting of BZA		29 May 84
Recommendation	Hayman to BZA	
Recommendation	Hayman to BZA	28 Jun 85
Agenda of BZA		09 Jul 85

Office Visit	Mr. and Mrs. Huesca	29 Nov 85
Office Visit	Mr. and Mrs. Huesca	02 Dec 85
Phone Conversation	Don Bergstedt	03 Dec 85
Phone Conversation	Mrs. Huesca	03 Dec 85
Phone Conversation	Richard Hayman	03 Dec 85
Phone Conversation	Mrs. Huesca	04 Dec 85







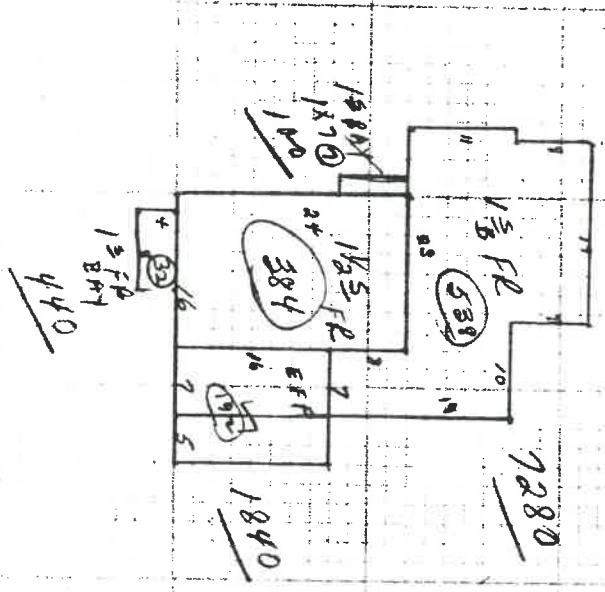
**BUILDING RECORD & CONSTRUCTION SPECIFICATIONS**

ADDRESS OF PROPERTY

1446 2 Oakwood

DES APTS	NO.	TYPE ROOF COVER	EX VG	G A+	A (V)	P	VP	NL	V
510	1	INT COND							
		GABLE							
		MSL ROOF							
		SLATE							
		EXTERIOR WALLS							
		FRAME/ALUM							
		CONC BLK/TILE							
		STUCCO/MTL							
		BRICK VENEER							
		STONE VENEER							
		1 FIN B							
		UM							
		P/ST							
		DW							
		PANEL							
		FIBER							
		FLRS							
		EARTH							
		CONC							
		H WD							
		PNE							
		CARP							
		NO ROOMS							
		1st							
		2nd							
		CERAMIC TILE							
		BATH							
		KIT							
		H-BATH							
		FOYER							
		GARAGE							
		NO CARS							
		BSMT GAR							
		INTR GAR							
		REMOD YR							
		EXTERIOR							
		INTERIOR							
		KITCHEN							
		BATH							
		HEAT A/C							
		ELECT							
		EXTENT							
		AC							
		HEAT							
		H-A							
		SLATE ASPH							
		PRE CONC							
		UNIT							
		AC							
		NONE							
		1 2 3 4							
		BAH							
		H-BATH							
		EXTRA							
		SPRINK							
		COMM:IND SPECIAL FEATURES							
		ITEM							
		VALUE							

NO	TYPE	GD CONST	SIZE	AREA	RATE	AGE	COND	REPL VALUE	PHYS DEP	PHYS VALUE	FUNCT	DEP	TRUE VALUE
1	1/2 DWELLING	FR					F	28920	50		-		14460
2	GARAGE	FR	18x28	504	9.90	F	3980	55			-		1790



SUMMARY OF BUILDINGS

16





# UAW-GM LEGAL SERVICES PLAN

201 E. Second Street • Defiance, Ohio 43512 • (419) 782-2253

AL ALBRIGHT  
Managing Attorney

CHARLON K. DEWBERRY  
Supervising Attorney

REBECCA S. FOX  
PETER G. OVERSTREET  
JOHN D. HARNISHFEGER  
DEBORAH K. SHUGAR  
Staff Attorneys

March 25, 1986

Keith Muehlfeld  
Attorney at Law  
555 Monroe Street  
Napoleon, OH 43545

Re: Roberto Huesca  
File No. 85-367-1463

Dear Mr. Muehlfeld:

This letter is to follow up on our recent telephone conversation regarding the above matter. At your request, enclosed please find a copy of my letter to Mr. Richard Hayman, requesting written documentation of the items which he advised Mr. and Mrs. Huesca would have to remodel in the Hudson Street property in order to bring the property up to Napoleon City Standards regarding electrical, plumbing, heating, insulation, and internal structures.

This letter will also serve to confirm our recent conversation that the City Council for the City of Napoleon has agreed to allow my clients to pick up the necessary permits to complete the remodeling of the Hudson Street property.

As discussed, prior to advising my clients to sign any waivers, I would like to review the written language of those waivers. At your earliest convenience, please provide me with a copy of the waiver. Once I have had the opportunity to review it, I will advise my clients as to how they should proceed.

Your attention and cooperation will be greatly appreciated.

Yours truly,

*Charlon K. Dewberry*  
CHARLON K. DEWBERRY  
Supervising Attorney

CKD:dms

cc: Mr. and Mrs. Roberto Huesca



# UAW-GM LEGAL SERVICES PLAN

201 E. Second Street • Dofiance, Ohio 43512 • (419) 782-2253

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JOHN D. HARNISHFEGER  
DEBORAH K. SHUGAR  
Staff Attorneys

March 25, 1986

City of Maumee  
Division of Inspection  
110 East Dudley  
Maumee, OH 43537

Attention: Richard Hayman

Re: Roberto Huesca  
My File No. 85-367-1463

Dear Mr. Hayman:

Please be advised that I represent the above-named individual, Mr. Roberto Huesca.

This letter will also serve to confirm the telephone conversation, which you and I had recently, with Attorney Muelhfeld, City Attorney, for the City of Napoleon, Ohio.

After much discussion, the Napoleon City Council has agreed to abide by the recommendations and statements which you have made to the Huescas, concerning the condition of the property situated at 403 Hudson Street in Napoleon, Ohio.

In accordance with that decision, the City will be issuing to Mr. and Mrs. Huesca the necessary permits in order to complete the remodeling of the Hudson Street address.

In the interest of all parties concerned and to avoid any future misunderstandings concerning the statements made by you to Mr. and Mrs. Huesca, we are requesting a written statement from you concerning the exact items which you requested or advised Mr. and Mrs. Huesca would have to remodel in order to bring the Hudson Street property up to code, with regard to plumbing, heating, electrical work and any other matters.

Your prompt attention in respnding to this request will be greatly appreciated. If you have any questions, please feel free to



City of Maumee  
Page Two  
March 25, 1986

contact me at the number or address listed above. If I am unavailable when you call, please leave a number where you can be reached.

Yours truly,

CHARLON K. DEWBERRY  
Supervising Attorney

CKD:dms  
cc: Mr. and Mrs. Roberto Huesca  
cc: Keith Muehlfeld



TENTATIVE AGENDA FOR REGULAR COUNCIL MEETING

April 21, 1986

8:00 P. M.

1. Approve minutes.
2. Discussion with Ohio Gas Co. representatives.
3. Discussion with County Engineer.
- SMYDERS* 4. Action on Pickup Truck bids.
- SMYDERS-KALWA* 5. Action on One-Ton Dump Truck bids.
- YES* 6. Third reading Ordinance to bid 1986 Street Resurfacing.
- YES* 7. Third reading Ordinance amending Electrical Code.
- YES* 8. Third reading Resolution adopting Non-Uniform Act State Relocation Assistance.
- REMAINS ON TABLE* 9. Action on Change Order No. 2 for Fire Station Repair Contract.
- YES* 10. Second reading Nuisance Motor Vehicle Ordinance.
- PASSED BY NO ACTION* → 11. Discussion and/or action on request for liquor permit at 617 North Perry Street.
- YES* - 12. Ordinance to bid sale of 7 Gang Mower.
- 13. Ordinance to approve 1986 Police Contract.
- NO ACTION* - 14. Discussion and/or action concerning vacation of an alley.
- 3a.* - 15. Discussion and/or action concerning moving of City Offices to the Old Hospital Building.
16. Approve bills.
17. Good of the City.
- ~~18. Board of Building Appeals appointments.~~
- ~~19. Recreation Board appointments.~~





MEMORANDUM

TO: Mayor and Members of City Council  
FROM: Rupert W. Schweinhagen, Clerk-Treasurer *RWS*  
SUBJECT: Truck Bids  
DATE: April 18, 1986

PICKUP TRUCK

The City received two bids for a pickup truck. Darrow, Inc. - 1986 Dodge D-150 = \$8,676.00, Snyder Chevrolet-Olds Co. - 1986 Chevrolet = \$8,219.56. Darrow, Inc. not a valid bid only had 5% bond amount, bid requested 10%. Both meet specs except the Darrow, Inc. bid noted that the Forest Green color is not available. The Snyder Chevrolet-Olds Co. is the low and valid bid. Price includes trade-in of a 1951 GMC Truck.

ONE-TON DUMP TRUCK

The City received two bids for the one-ton dump truck:

Darrow, Inc. with Heil Dump	\$14,801.00
Snyder Chevrolet-Olds with Kalida Dump	15,477.57
Snyder Chevrolet-Olds with Perfection Dump	15,083.57

The Darrow, Inc. bid did not have a bid bond or certified check and is not a valid bid. The Snyder Chevrolet-Olds bids are valid bids, however, the bid with the perfection dump body does not meet specs. The only valid bid is the Snyder Chevrolet-Olds bid with the Kalida dump body at a bid price of \$15,477.57. Bid prices includes trade-in of a 1957 Dodge Ambulance.

Jim Angelo Ford presented a bid after the bid opening time of 12:00 Noon and could not be considered.

RAH:skw

*Handwritten notes in green ink:*  
Darrow, Inc. bid not valid - 5% bond only  
Does not meet specs - color not available  
Spec. 11.2007 to 12.1986



RELEASE OF ALL CLAIMS

Pursuant to the terms of a settlement reached with the City of Napoleon, Ohio and for good and valuable consideration, the receipt of which is hereby acknowledged, the undersigned, on behalf of themselves, their heirs, executors, administrators, and assigns, and on behalf of any other persons hereafter claiming any rights of title, occupancy or possession by, through or under them, as to the property located at 1 Hudson Drive, Napoleon, Ohio, do hereby fully release and forever discharge the City of Napoleon, Ohio, its officials, officers, employees, agents, successors and assigns from all rights, claims, suits, and causes of action which the undersigned and their above-mentioned successors now have or may have in the future against the City of Napoleon, Ohio, its officials, officers, employees, agents, successors and assigns, arising out of in any way the issuance of building permits for the property located at 1 Hudson Drive, Napoleon, Ohio.

The undersigned have read and fully understand the terms of this Release of All Claims.

IN WITNESS WHEREOF, We have hereunto set our hands this 2nd day of ~~March~~ April 1986.

Signed in the presence of:

Charles H. Dewberry

Roberto L. Huesca  
Roberto L. Huesca

Deborah K. Shugar

Ella Huesca  
Ella Huesca

STATE OF OHIO  
Defiance County, ss.

Before me, a Notary Public in and for the State of Ohio, personally appeared Roberto L. Huesca and Ella Huesca, who acknowledged that they did sign the foregoing instrument and that the same is their free act and deed.

In Testimony Whereof, I have hereunto set my hand and official seal at Defiance, Ohio this 2nd day of ~~March~~ April, 1986.

Deborah K. Shugar  
Notary Public, State of Ohio.  
**DEBORAH K. SHUGAR**  
ATTORNEY at LAW  
Notary Public - State of Ohio  
My Commission has no expiration date



MRS. HUESCA

SEE JOHN HELBORG WHEN YOU  
COME IN.

AS PER MY CONVERSATION WITH  
JOHN THE SEWER TAP FEE  
IS O.K.

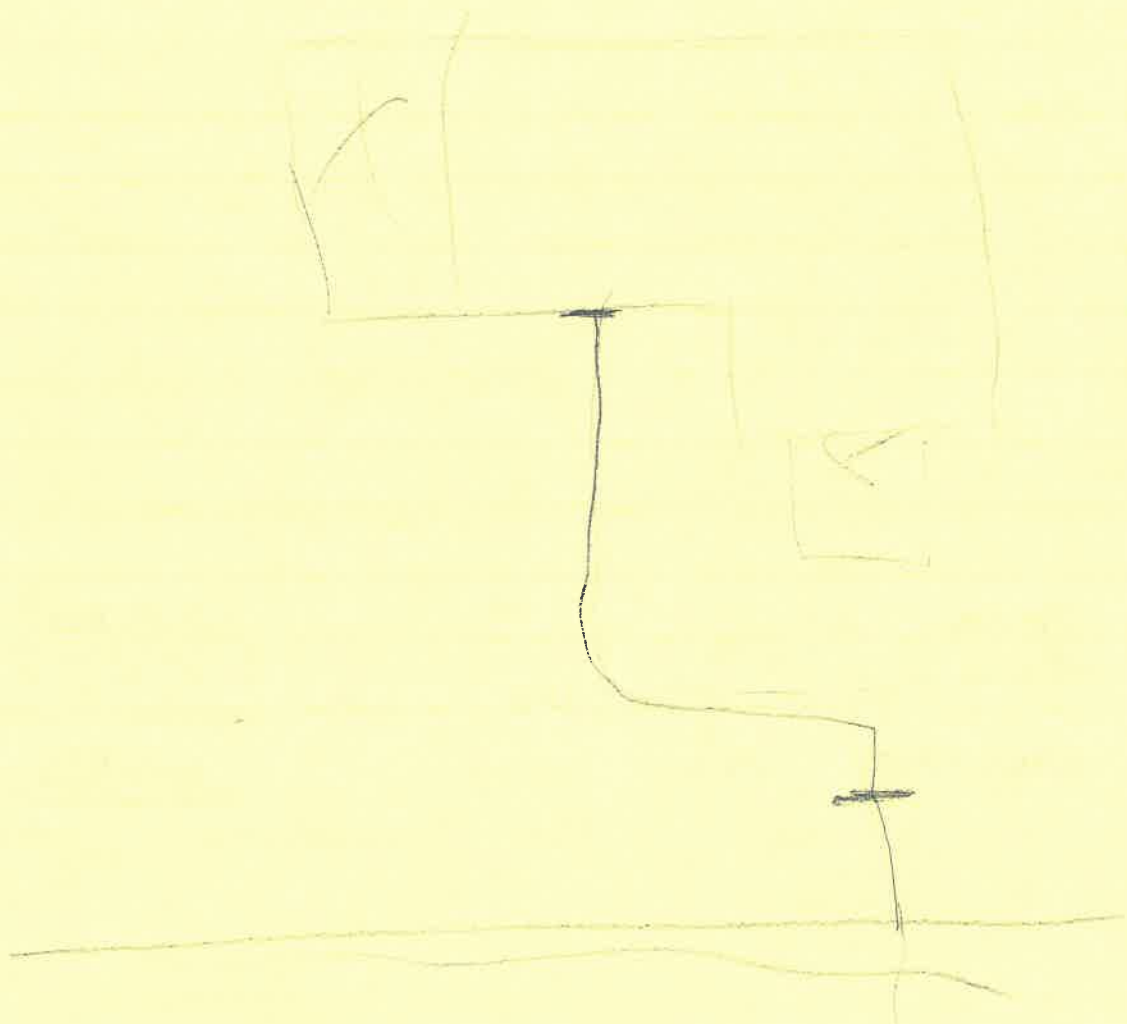
AS YOU INDICATED THE WATER TAP  
WAS EXISTING AND IS NOT REQUIRED,

ELDON HOBER  
6-25-86  
1:00 PM,

TOTAL DUE	125.00
#2960 3-27-86	\$ 65.00
BALANCE DUE	<u>60.00</u>

RECEIPT NO

599-1410



DATE

NOTICE OF PUBLIC HEARING

Please take notice:

A Public Hearing will be held by the Board of Zoning Appeals of the City of Napoleon, Ohio in the Council Chambers of the City Building located at 255 W. Riverview Avenue, on May 29, 1984 at 4:30 P.M. to consider the following item:

A request for variance to the setback requirements, accessory structure requirements of Napoleon Zoning Code by Lloyd R. Fruth, Executor, 557 W. Main Street Napoleon, Ohio for the property at 405 Hudson Street and more particularly known as Lot No. 1 and 2 in Susan J. Rowan's Fair Ground Addition to said City of Napoleon, LESS AND EXCEPT THEREFROM the following described parcel: The south part of Lot 1 in Fair Ground Addition and a parcel of land between the west line of said Lot 1 and the east line of Adrian Pike in the City of Napoleon, Henry County, Ohio.

All persons desiring to speak for or against said variance, may appear at the Hearing and be heard thereon.

CHAIRMAN OF THE  
BOARD OF ZONING APPEALS  
CITY OF NAPOLEON, OHIO





BOARD OF ZONING APPEALS REVIEW  
BY RICHARD G. HAYMAN

Re: Variance request for 405 Hudson St. Lloyd Fruth.

Back on August 5, 1960, Mr. Edward Fruth of 435 Filmore was sent a letter from Robert C. Jones the Building Commissioner at that time, which stated that Mr. Fruth was in violation of Ordinance 404 of the Napoleon Building Code. The letter said: Your attention is called to Chapter 1202 Section 14 of the Ohio Building Code which describes the relocating of buildings. Also on an inspection tour of your building site on Hudson Street I found that your basement walls do not have a footer which is in violation of Chapter 1211 Section 202 of the O.B.C.

It is the feeling of this office that you should come in and acquaint yourself with the proper methods and procedures affecting the relocating of a home under the new building code. Signed Robert C. Jones

Aug. 8, 1960 a note was put in the file that Mr. Fruth came in to see Earl Campbell who was the Fire Inspector at that time and wanted to burn the structure on Hudson Drive. Permission was denied.

The next time activity went on at Hudson Drive was around November 7, 1960 when a building permit was issued by Robert Jones. Also Plumbing, Electrical and Heating were included in that permit. The permit was for a new residence, but whether it was for the corner structure or not. I don't think it was because the dimensions on the permit, is not the same as those of the structure, and the permit was for a 1½ story structure which the structure that there is a 1 story structure.

On June 8, 1970, Carl Engel issued a permit for a addition to a lumber shed which I'm assuming the structure was being used as a lumber shed. Nothing must have been done at that time, because another permit was issued on March 13, 1972 and that permit does not say what it was for but it was written at the bottom that concrete was poured on April 20, 1972.

The next correspondence was on December 2, 1975 when Thomas Terranova sent Edward Fruth a letter. That letter stated that the previous two permits were null and void as of March 13, 1974 and in accordance with the City Code, he was required to to extend the work completion time and re-issue a new building permit. In order to do that, they needed a new application, site plan with lot demension, size of structure, setback lines and square feet of lot. Also he asked that it be noted on the site plan what the use of the structure would be. There had been a stop work order issued on November 24, 1975. On the building permit it was noted that the structure was to be used as an accessory building- tool shed with an attached garage. Also noted was that the building was not to be used for 1, 2, & 3 Family Dwelling. There was also a note at the bottom that this permit would become null and void on 12/9/77.

On April 28, 1978, Mr. Robert Johnson and John Fruchey, sent a memo to the City Manager, Alan Tandy. In that memo, they stated that they had done an inspection of the building on April 26, 1978. There inspection revealed that the structure was not in good condition and that the interior was littered with debris and junk. Wiring was bad and there conclusion was that the building should be considered a nuisance under our ordinances. A copy of this memo is enclosed in your packet.



On May 3, 1978, Robert Johnson sent a letter to Lloyd Fruth who is the beneficiary along with Virgil, Melvin and Larry. Edward had passed away. That letter stated that Lloyd should contact the building inspector because they had received complaints on the building and considered it a hazard to the community. There were no notes that Mr. Fruth came in, but I think he did come in.

On June 6, 1980, I sent a memo to Mr. Tandy the City Manager and stated that on June 3, 1980, I had viewed a man installing asphalt shingles to the side of the structure. I am enclosing a copy of that memo of June 6, 1980, plus a copy of the plot plan that I did.

On June 12, 1980, I issued a letter to Mr. Lloyd Fruth about the work going on and that there had not been a permit issued for any work and also the zoning Regulations on this property. This letter is also enclosed.

I then received a letter from Edward Peper, Mr. Fruth's Lawyer. Attached is that letter. Mr. Peper states his thoughts on the property.

On June 18, 1980, I answered Mr. Peper and that letter is enclosed. My position to Mr. Peper was that the setbacks of the structure whether it was a main structure or an accessory structure, does not meet the code. In the August 5, 1960 letter it stated that there was no footer under the building, and there was no evidence in my files that the footer was ever installed. Within the last year we have had a number of requests for variance to the front yard setback regulations. If we keep granting these requests, we may as well change the setback requirements to a lesser distance. In Mr. Fruth's instance, the building was in violation right from the beginning and Edward or Lloyd do not seem to want to correct the situation. Nowhere within the code does it allow for an accessory building to be located in front of the main structure on a lot. In the letter of June 12, 1980, we asked that the building be removed within 30 days. The building was not removed and the hazard to the community remains to this day. The structure sets 11 ft. 10 in. from the front property line and lot one that it sits on is only 3,846.39 sq. ft. which is 2,153.10 sq. ft. under what is required by code.

When answering your finding of fact on page 21 of the Zoning Code, your findings should be as follows:

1. There are no exceptional or extraordinary circumstances or conditions to the property that apply generally to other property in the same vicinity or district.

2. The variance is not necessary for the preservation and enjoyment of a substantial property right possessed by other property in the vicinity. Because the rear half of lot 1 was sold many years ago which left the front half undersized, this does not make it a hardship to the property owner because it automatically joins the front half of lot 1 with lot two since there is one ownership making both lots after joining conform with the size regulations. The original owner made the mistake in the beginning by putting the structure there without a permit or a footer.

3. The granting of the variance could at a later date be detrimental to the public because Hudson St. is a dead end street at the present time and if the property to the east of the dead end were developed, the street would have to be widened, that would put the house about fifteen feet from the edge of the road.

4. Because that area is a B Residential District, the granting of the variance could alter the land use characteristics and diminish property values. Because of the age of the house to the east, what I would request of Mr. Fruth or any one that purchased the property, would be to demolish the east house and move the west one on to the other lot.



I feel the City has put up with this problem long enough and something should be done to solve this problem. The administrations recommendation would be for denial of the variance and that the use should be brought into conformance with the code.



BOARD OF ZONING APPEALS AGENDA  
MAY 29, 1984

1. CHAIRMAN CALLS THE MEETING TO ORDER AT 4:30 P.M.
2. SECRETARY CALLS THE ROLL:
  - A. RICHARD MC BROOM ✓
  - B. LYNN YACKEE ✓
  - C. HOWARD OVERHULZ
  - D. ROBERT DOWNEY
  - E. RICHARD LUZNY ✓
3. PUBLIC HEARING:
  - 6-84 A REQUEST FOR VARIANCE TO THE SETBACK REQUIREMENTS OF AN ACCESSORY BUILDING BY LLOYD FRUTH OF 557 W. MAIN ST. FOR THE PROPERTY AT 405 HUDSON ST.
4. MOTION MADE BY
5. MOTION SECONDED BY
6. VOTE
7. ADJOURNMENT

*Luzny made motion  
Yackee seconded*

*501*





BOARD OF ZONING APPEALS MEETING

MAY 29, 1984

Chairman called the meeting to order at 4:40

Secretary called the roll: Present were Mr. Yakee, Mr. Mc Broom, Mr. Luzny.

Mr. Hayman- If you will look at the drawing in your packet, of Hudson Drive and Oakwood. The building was moved in there sometime around 1960 and they were sited at that time for not having a permit to move-

Mr. Yakee- This is the one on the corner that looks like a house?

Mr. Hayman-Yes- did not have a permit to be moved in there and was set in the setback of the yard, its like 11 feet from the street right of way. They do have enough footage on that lot to move it back so they meet the requirements of the code. They were stopped work at that time and if you read thru the review, there's been a lot going on over the years but they have never brought it within the standards of the code. That is what we would like to get now where there legal.

Mr. Yakee- It looks like a house. He intends to use it as a shed?

Mr. Hayman-Well seethey have pieced mealed it , they stuck it in there with out a footer, then they added a basement then they added the brick, no permits the things filled with lumber and he wants to make it a garage and a accessory building is required to be behind the house.

Mr. Mc Broom-Is this partition from Mr. Fruth or from the City.

Mr. Hayman-From Mr. Fruth what he wants to do is sell it and use it as a garage.

Mr. Luzny- Can we have meetings with out the applicant being here?

Mr. Hayman- Yes you can do it.

Mr. \*McBroom- As far as I'm concerned it shouldn't be sold as a house if its not a house, it shouldn't be sold as anything.

Mr. Hayman- Because your the Board of Zoning Appeals you can grant a variance for this to be changed to a residence or remodel to a garage or what ever you want to do.

Mr. Luzny- It doesn't meet standards or code regardless of what it is right now.

Mr. McBroom- Can it be made to meet standards. The way I saw it you had 17 different things done to it 14 different times and it meets nothing yet.

Mr. Hayman- The older Mr. Fruth passed away and I don't think he had the money and would piecemeal as he got money to do it and would never get permits or anything. Liketh brick that was put on it was never finished, it was put on the house but not on the garage, then he wanted to put a different type of material on the garage and now I understand he wants to put siding on the garage. Your going to have two different types of finish on the structure.



Mr. McBroom- I like the one in 1960 the best when we refused him permission to burn the house down we compound our own problems.

Mr. Hayman- You can't let a resident burn there own house.

Mr. McBroom- I understand that.

Mr. Hayman -The problem were having today is that back thru the years they allowed divissions of property with out approval and now we have lots that are undersized and odd shapes like this one. Its an undersized lot to begin eith and it has to be joined with the other lot next to it. If he wanted to~~s~~ sell that corner lot off we probably could not stop him.

Mr. Luzny- Can we give him an alternate Say that he either moves it back and meet all the standards or to tear it down his choice.

Mr. Yakee-He can't move it back with a basement under it.

Mr. Luzny- It's a part basement but I'm sure he could move it. He's trying to sell this place right.

Mr. Hayman- He is trying to sell both lots, the L shape lot.

Mr. Luzny- Perhaps it would be good to give him the opertunity to move it or tear it down.

The Board had much discussion on what should be done.

Mr. Hayman stated that if he moved it back and made it flush with the front of the other house and make it attached, then he could make a garage out of it. If you want to grant a varience for it to be a garage right now you can do that or make him finish it off with brick, that can be done.

Mr. McBroom- I think he was told at another time that it had to match existing.

Mr. Yakee- They just moved the thing there with out permission.

Mr. Hayman- Yes, where they moved it from I don't know.

Mr. McBroom-We asked three times to burn it down and four times to bring it up to code. I'm under the opinion that we should'nt be granting any variances of any kind.

Mr.Yakee- I'm feeling the same way.

Mr. Luzny- I agree.

Mr. McBroom-I mean this is to much junk to put up with from any body.

Mr. Luzny-Not only that, the fact hes not here I think indicates he's going to do what he wants anyway regardless of what we say.

Mr. McBroom- I would refuse to grant a variance without any more information then we have here.

Mr. Hayman-If you look at my letter in 1980 to the City Manager, we found the house open and it was in a very dangerous condition any body could walk into it and the windows were broken. I sent a letter to them to close it up and they never did nothing to it.



Mr. Yakee- The broken window is still there.

Mr. McBroom- I could not vote for the variance under the circumstances.  
How do you feel Mr. Yakee.

Mr. Yakee-I feel the same way you do. Can we help the situation any.

There was more discussion by the Board.

Mr. McBroom-I just feel any thing we do now should go to Council.

Mr. Hayman-You have the decision , what ever you decide does not go to Council.  
This is not like Planning Commission.

Mr. McBroom-I would say her that he should bring it up to zoning and building codes, if that requires moving it back the 25 ft. , no ones living in it now. No variances to be granted, what he's asking from what I'm reading is he's going to sell it to somebody who is going to attempt to fix it up again and move into it.

Mr. Hayman- I don't know if there going to move into it they might possibly want to rent it out.

Mr. McBroom- Were not going to let them do that are you saying that is what will stop it a motion to that effect.

Mr. Hayman- If you make the motion that he has to bring it up to the building and zoning code your making enough restrictions on it that he's going to have to do something to it.

Mr. Luzny-I move that we allow Mr. Fruth the oppertunity to bring the garage to standard by moving it next to the house with proper setbacks and so on, or remove the garage from the lot within the next 180 days. We would at that time reexamine an appeal or grant a variance if it was moved next to the house. Would something like that half way cover it, but it would have to be within 180 daysl

Mr. Hayman- If he is going to move it next to the house, even with the front of the house, he doesn't need a variance as long as footer and foundation under the house.

Mr. McBroom- How about just redoing it, he has 180 days to bring it up to the building and zoning code or no occupancy certificate will be granted we have to do something were going to have another abandoned house. I would like to see the ordinance ruled as such that the only hammer we have is no occupancy will be granted and it will be removed.

Mr. Luzny-I would like to move we allow Mr. Fruth the opertunity to bring the garage to standard be moving it next to the house with proper setbacks etc. or to remove the garage from the lot entirly within the next 180 days or by bringing the unit up to building and zoning code requirements or no occupancy permit will be granted.

Mr. Yakee- seconded the motion.

Upon a voice vote the majority voted for the motion.

With no other business to be brought before the Board, the meeting was asjourned at 5:01 PM



To: Board of Zoning Appeals  
Fr: Richard G. Hayman  
Re: 405 Hudson St. Public Hearing

On May 29, 1984, the Board held a Public Hearing for a variance to the setback of an accessory building. Mr. Lloyd Fruth was not present at that meeting and the Board voted for Mr. Fruth to either remove the building or to move it next to the main structure on the property and it was to be completed within 180 days.

Mr. Fruth came in and said he had not received notice of the Hearing, that was why he did not attend. He also told me that the house was not moved in as our records show but that it had been built there. Also when the van hyning sewer line was installed, a tap was left for that house and Mr. Fruth and the other heirs are paying a \$300.00 assesment for that sewer line. Mr. Fruths father was given three permits to repair the structure as per code. Because this work was not done, Mr. Fruth feels that he should not be penalized for what his father did not do. Vecause he was given three permits to remodel the structure, I feel we will have to allow Mr. Lloyd Fruth the same privilage that his Father was granted. With the Boards permission, I would like to issue an order to Mr. Lloyd Fruth and the other heirs, 180 day to bring the building up to the requirements of the one and two family dwelling house code and issue a permit.

If the Board has any problem with this please call and let me know.





TO: BOARD OF ZONING APPEALS  
FROM: RICHARD G. HAYMAN  
SUBJECT: VARIANCE TO SETBACK AND LOT SIZE PLUS INTERPRETATION  
DATE: JUNE 28, 1985

HEARING DATE: JULY 9, 1985  
TIME: 4:30 PM

It is requested by Lloyd Fruth that the Zoning Board of Appeals, straighten up a conflict of code interpretation between the Zoning Inspector and the Administration and is also asking for a variance to the setback and lot size regulations in a B Residential District.

Back in 1875 the Plat of the Fair Grounds Addition to the City of Napoleon was recorded at the County Recorders office. This Subdivision was located out on the old Adrian Pike now known as Oakwood Ave. and is directly across from where Baumans Stock Yards were located. The Lots were laid out 66 ft. wide by 134 ft. deep on all lots but those fronting on Oakwood Ave. . Lot 1 is the first lot in the subdivision on the corner of Oakwood and Hudson Street, and the lot in question here. Lot 1 was laid out 81 ft. wide by 134 feet deep. There was a farm house on the south portion of this lot. In 1939 Edward Fruth purchased Lot 1 from George Bokerman. In 1951, the records show that Fruth split the lot and sold the south portion to a Mr. Hahn. The deeds show the size of the south lot as 78.03 feet taken off the north lot which left the north lot 53.97 feet deep on the east side and 47.22 feet deep along Oakwood. The square footage of the north lot is 4413 sq. feet. The sq. footage of the south lot is about 8698 sq. feet.

Section 151.30 Last paragraph states that in any district, a single family dwelling may be constructed on a lot of record regardless of the size of the lot.

Lot Of Record under Definitions is a lot which is part of a duly recorded plat of subdivision; or a parcel of land which has been conveyed by the identical description by deed or record recorded prior to; or a parcel of land conveyed by a deed or record, if on the date of the recording of said deed such parcel met all the requirements of the zoning ordinance then in effect.

The following is my interpretation and feelings as to this lot.

1. The subdivision was recorded back in 1875, making the lot a lot of record.
2. Mr. Edward Fruth split Lot 1 in 1951 prior to any Zoning in the City, making both the north and south Lots, Lots of Record because they were recorded.
3. Mr. Edward Fruth was allowed to move the present structure on to the north lot. It consisted of three rooms with a total sq. footage of 1118 sq. ft..
4. The permits that were issued over the next thirty some years, was to remodel the building for storage.
5. A letter in my file on 1 Hudson Drive, was dated August 5, 1960, and states they were relocating a home.



6. Another letter in my file from Thomas Terranova asks Mr. Fruth to note on the site plan as to the use of the structure. This would indicate to me that he

7. I feel even though the building has been used for a storage shed from the time it was moved onto the lot to date that if Mr. Fruth wants to spend the money to bring it up to code that the Zoning Code does not restrict him from changing the use from storage to Residential Single Family Dwelling, as long as he does not decrease the setbacks any more than they are now. The setback on Hudson is only 15 ft. and he could not come forward of that amount. To make the building into a single family dwelling would take quite a bit of money to meet the building code. If the lot was left as is or the house was tore down it would not improve that corner and could depreciate property values in the area. If they were allowed to remodel the structure into a nice single family dwelling, I think it would increase property values in the area and make the area look better than it does now.

8. If the lot was owned by another individual instead of the person that also owns lot 2, would it then be allowed to be built on or remodeled. It has been said that because the taxes have been paid for both lots 2 and the north half of lot 1, and not been split in two separate tax bills, then the two lots should be treated as one lot.

9. Some codes are written that a Zoning Lot no matter what size can have a single family residence erected upon, only as long as abutting lots are not owned by the same owner. What there saying is, that if you own a zoning lot, no matter what size, and you don't own any abutting lots, then you may build a single family residence. If you own a lot abutting that zoning lot, then the two lots have to be joined and only one residence may be erected. Our code does not say that, any lot of record, no matter what size, can have a single family residence erected upon it.

10. There are not to many situations like this one, so what ever your dicision, you would not be setting president.

If your preferance is to grant the request to remodel the structure, then it should be made clear that the front of the building can never be brought out any farther than what it is right now, and the Oakwood side can not be built on. Also the building would have to be brought up to the building code.

If your preferance is to deny the request then the building should be removed and nothing allowed to be built on that lot. If the lot was rejoined with the south lot then a single family residence could be erected on the two lots only if the other structures were removed.



ZONING BOARD OF APPEALS AGENDA

JULY 9, 1985

CHAIRMAN CALLS THE MEETING TO ORDER AT 4:30 PM

SECRETARY CALLS THE ROLL

SECRETARY READS THE PUBLIC HEARING NOTICE FOR 5-85

A request by Lloyd R. Fruth, Executor of the estate of Edward H. Fruth, for a variance to the lot size and setback requirements and and interpretation of Section 151.30 Minumum lot size and lots of record of the City of Napoleon Zoning Ordinance and decision if a structure located at 1 Hudson Drive and Oakwood Ave. can be converted to a single family residential dwelling.

DISCUSSION

MOTION

SECOND

VOTE

ADJOURNMENT



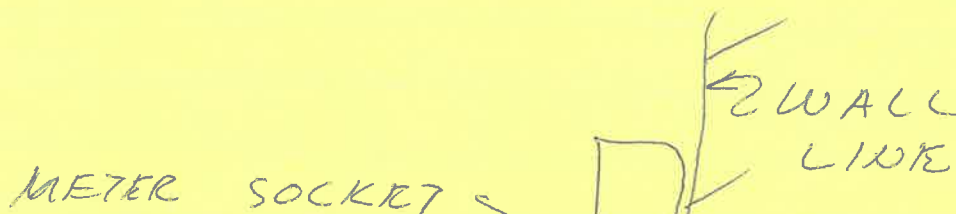
DAVE

6-25-86

403 HUDSON

HUESCA HOUSE

PERMIT NO 1119



ROMEX EXPOSED

IS THIS ACCEPTABLE

Copper only

No Alu  
Allowed in our box

FH





Office Visit

Fri 29Nov85 4:20 pm to 4:50 pm

John Helberg, Paul Buehrer, Mr. and Mrs. Huesca and child

The following statements were made:

To the best of our knowledge, no footer exists

During the site inspection on 29Nov85, 1:15 pm to 3:30 pm by Paul Buehrer upon permission of Mr. and Mrs. Huesca to enter the property in question with intent to determine if a footer exists, Mr. Buehrer entered the basement, removed a sandstone block, measuring  $4\frac{1}{2}$ " x 5" x 1" thick, from the midpoint of the south foundation wall at the point of intersection of the concrete floor and wall base. The block was inserted in the horizontal plane. Removal was made with little difficulty. The process of including oversized aggregate leads to a failure of adhesion of the concrete pour. Removal of this piece of sandstone revealed a mud base. Mr. Buehrer then acquired a 4' long, approximately  $\frac{3}{8}$ " diameter tile probe. He then inserted into this mud base in an easterly and a westerly direction, approximately  $30^\circ$  from the vertical. In both instances, the probe went into the mud base at least 16". This was sufficient knowledge, at this time, to determine that no footer exists at the base of this 6' foundation wall, in Mr. Buehrer's opinion.

To the best of our knowledge, the masonry brick wall is not tied to the structure.

Upon Mr. Buehrer's determination, the brick facade fluctuates separately from the stud wall.

Before the City makes any determinations, we must contact Mr. Hayman to discuss what arrangements and agreements have already been made.

No determinations will be made until that time.



Office Visit

Mon 02Dec85 11:45 am to 12:30 pm.

John Helberg, Paul Buehrer, Mr. and Mrs. Huesca and child

The following statements were made:

We will contact Mr. Hayman--Building Official, Don Bergstedt--Block Layer, and Junior Schnitkey--Brick Layer, for additional information before this department makes any decision on the matter.

Phone Conversation

Tue 03Dec85 Morning

John Helberg and Mrs. Huesca

Mrs. Huesca related:

According to Junior Schnitkey, the brick layer, there is a footer under the structure. Mr. Schnitkey informed the Huesca's where they are to dig to find the footer. Mrs. Huesca will look for a footer and let this department know when they find it.

Phone Conversation

Wed 04Dec85 Morning

John Helberg and Mrs. Huesca

Mrs. Huesca asked for permission to install windows in the structure.

Permission was granted to install windows. A warning was issued to Mrs. Huesca that any further development done on the structure is at their own risk; but for safety purposes, our decision was that we would allow her to install windows.



Phone conversation

Paul Buehrer and Don Bergstedt

Tue 03Dec85 9:28 am

Permit No. 1088, issued 11Sep85

Upon Richard Hayman's review of 03Sep85, Don Bergstedt was hired by Mr. Fruth to replace, reset, and tuckpoint any block which Richard Hayman physically pointed out. Mr. Bergstedt then repaired the block, reinforced any wall studs which Mr. Hayman physically pointed out, and also began placing firestopping to Mr. Hayman's requirement.

According to Mr. Bergstedt, on 20Sep85, Mr. Hayman stated, "The foundation is now suitable for structure", "The stud walls are suitable", and "The rafters and joists are suitable."

Masonry ties were not discussed, sheathing was not discussed.

The permit was then signed by Mr. Hayman, including the statement

"Foundation & Firestopping Complete".



Phone Conversation

Paul Buehrer and John Helberg

Richard Hayman

Tue 03Dec85 Afternoon

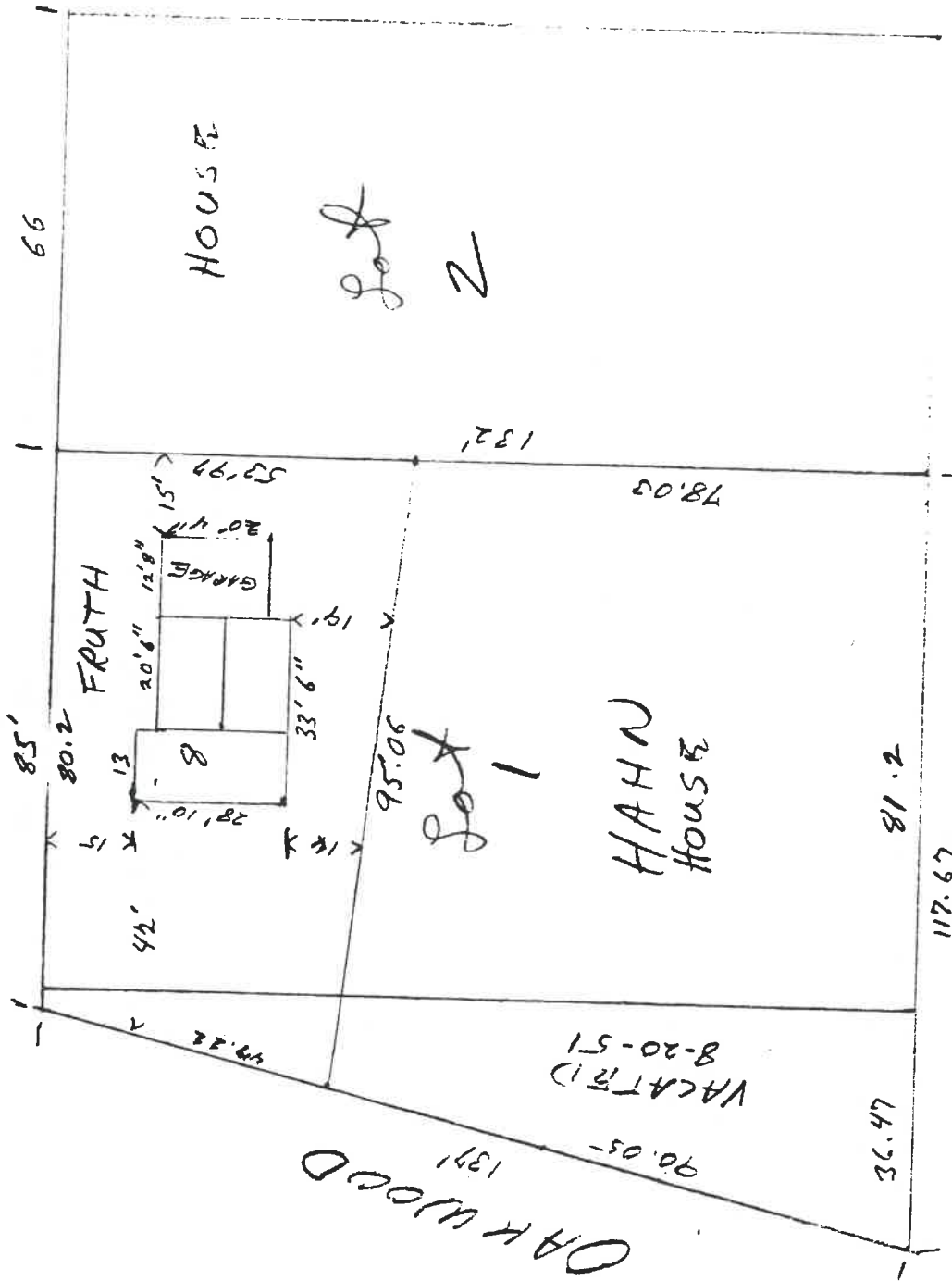
- 1 Fire separation wall between garage and structure on garage side must be  $\frac{1}{2}$ " drywall
- 2 Basement walls are suitable for structure
- 3 Foundation must be suitable since the structure has remained standing for this period of time
- 4 Crawlspace ventilation is not required
- 5 Blocking at joist level is not required
- 7 Firestopping was required and accepted
- 8 Wall covering must be removed from east wall of structure and interior walls
- 9 Studs were reinforced and acceptable
- 11 Masonry veneer construction was not discussed prior to this conversation
- 12 Masonry ties were not discussed prior to this conversation
- 14 No blocking is required in this type of framing
- 15 Header at base of stairwell is not required
- 16 Roof design is to be determined in later permit because Richard Hayman felt that the prior owner should not be responsible to bring all of the structure up to code
- 17 Same as above
- 18 Ridge board in garage must be replaced

These are Richard Hayman's opinions





HUDSON



FAIR GROUND ADDITION  
LOT 1 + 2



ON

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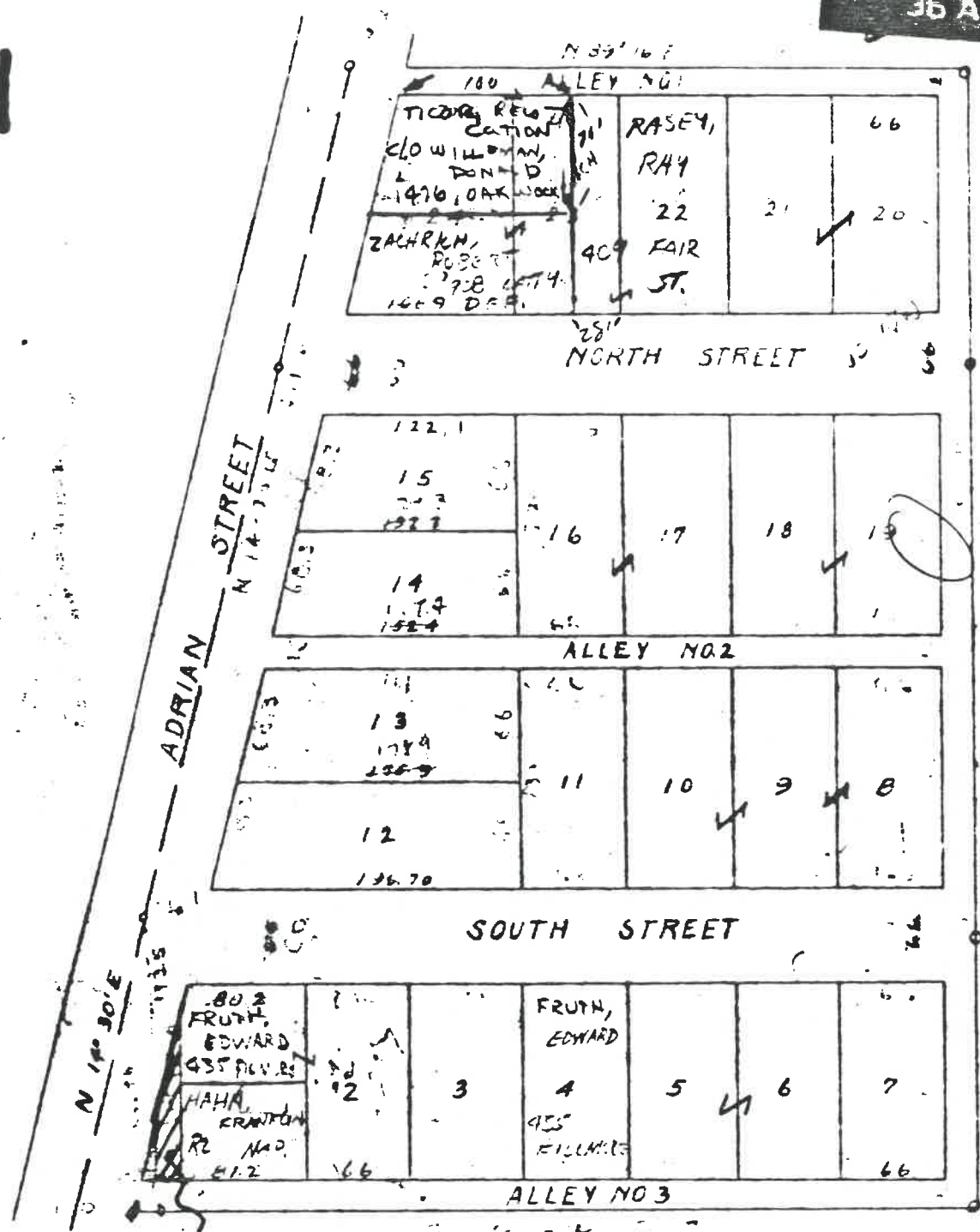
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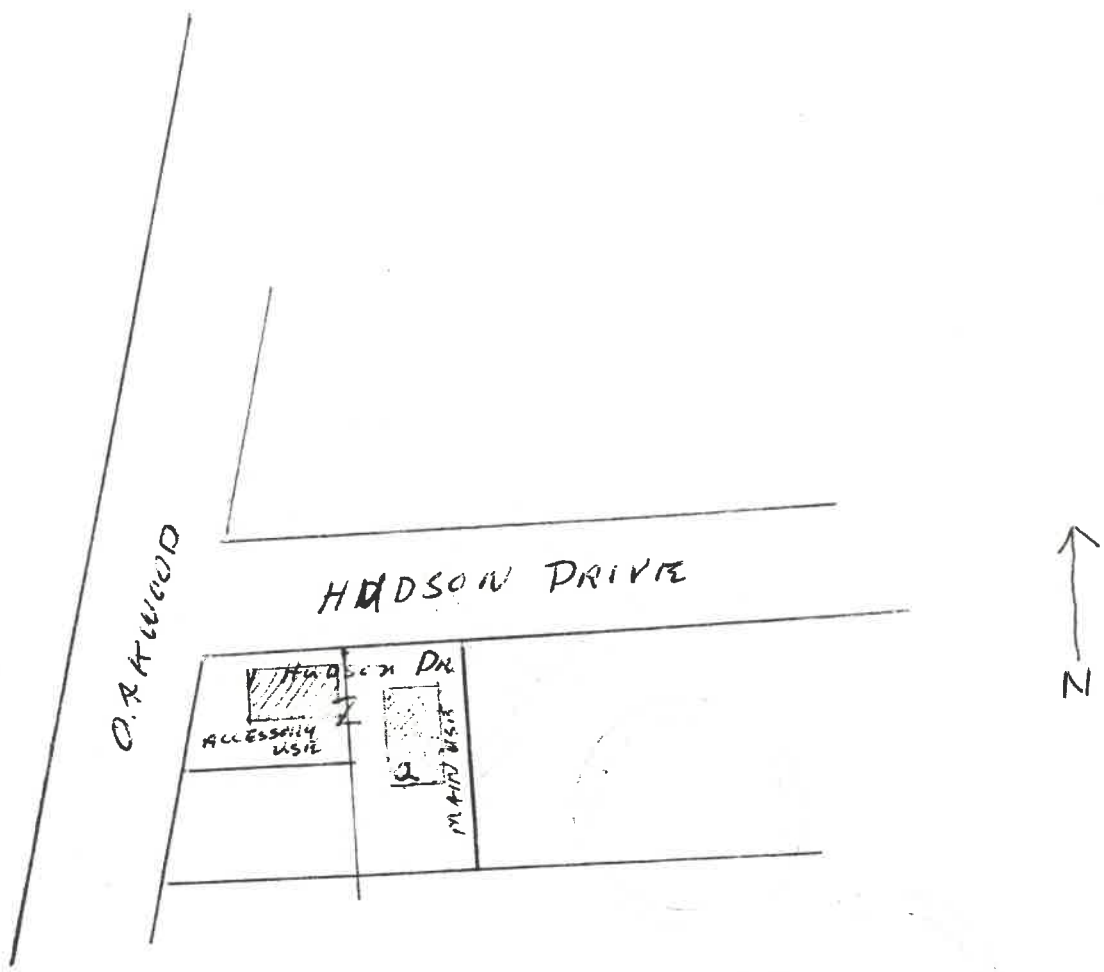
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VACATED 8-20-51  
ORD. No. 258



Plot of 1 HUDSON DRIVE  
LLOYD FRUTH  
557 W. MAIN





761

Home  
moved in

22

Street

184

6 foot line

18 feet

Present  
Home

92



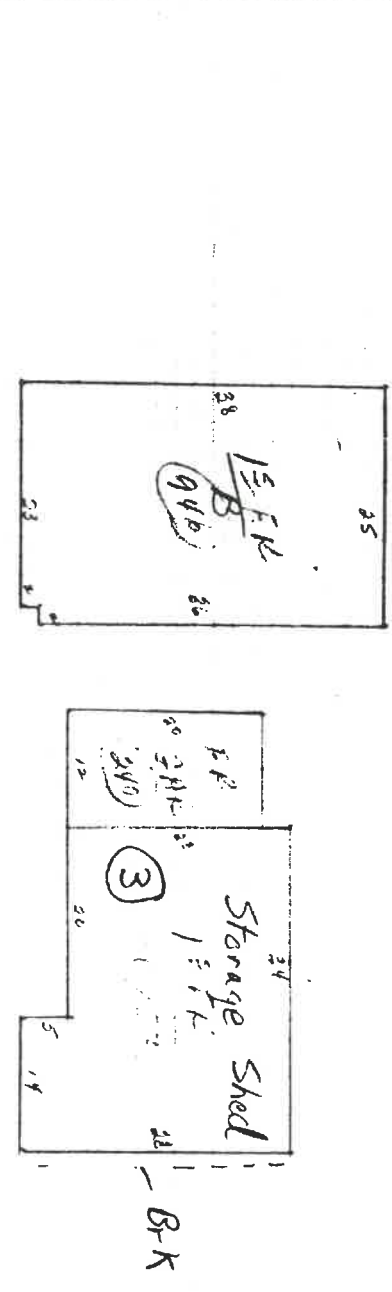


BUILDING RECORD & CONSTRUCTION SPECIFICATIONS

ADDRESS OF PROPERTY

Hudson ST.

CODE #	DES.	NO.	INT COND	EX VG	G	A	A	F	P	VP	NL	V	TYPE ROOF COVER	RESIDENT COMPUTATIONS	AMOUNT
FOUNDATIONS	INSUL	ROOF	WLS	SLATE	946			14230			760				
EXTERIOR WALLS	FRAME/ALUM	CONC BLK/TILE	STUCCO/MTL	BRICK VENEER	B.I.F. 120			FIREPLACE			PLUMB GAR				
BASEMENT	STONE VENEER	1. FIN	B	1	2	3	ADDNS			TILE					
HEATING	PANEL	FIBER	FLRS	B	1	2	3	SUB TOTAL			MULTIPLIER				
COOLING	CARPET	NO ROOMS	BSMT	1st	5	BEDROOMS	2nd	2	FAM/REC			COMMERCIAL COMPUTATIONS			
INTERNAL AIR	CERAMIC TILE	BATH	HBATH	HGT	FLR			L/F							
CHEN CABINETS	KIT	Foyer	NO. CARS	2	1			1							
FIREPLACES	GARAGE	BSMT GAR	INTR GAR	REMOD YR	COST	UP	SUB TOTAL			HGT ADJ					
PLUMBING	HEAT A/C	HEAT A/C	ELECT	A/C			HEAT			L.T.G.					
ROOFING	SLATE/ASPH	PRE/CONC	1	2	3	4	BASE			MULTIPLIER					
INTERIOR WALLS	WD/MTL	STORE	OFFICE	APT	FLOOR			FRONT			SP FEAI				
PLUMBING	HEAT	B	1	2	3	4	SUB TOTAL			GD FACT					
INTERIOR WALLS	USE	B	1	2	3	4	SUB TOTAL			SUB TOTAL					
PLUMBING	REPL														
COMMERCIAL AND INDUSTRIAL LISTING															
COMM IND SPECIAL FEATURES															



SUMMARY OF BUILDINGS

NO	TYPE	GD CONST	SIZE	AREA	RATE	AGE	REPL VALUE	PHYS	PHYS VALUE	FUNCT	DEP	TRUE V/
1	DWELLING	D + H	X			48 F	25000	50			112	
2	GARAGE		X					50				
3	Storage Shed		X									
TOTAL												
152												



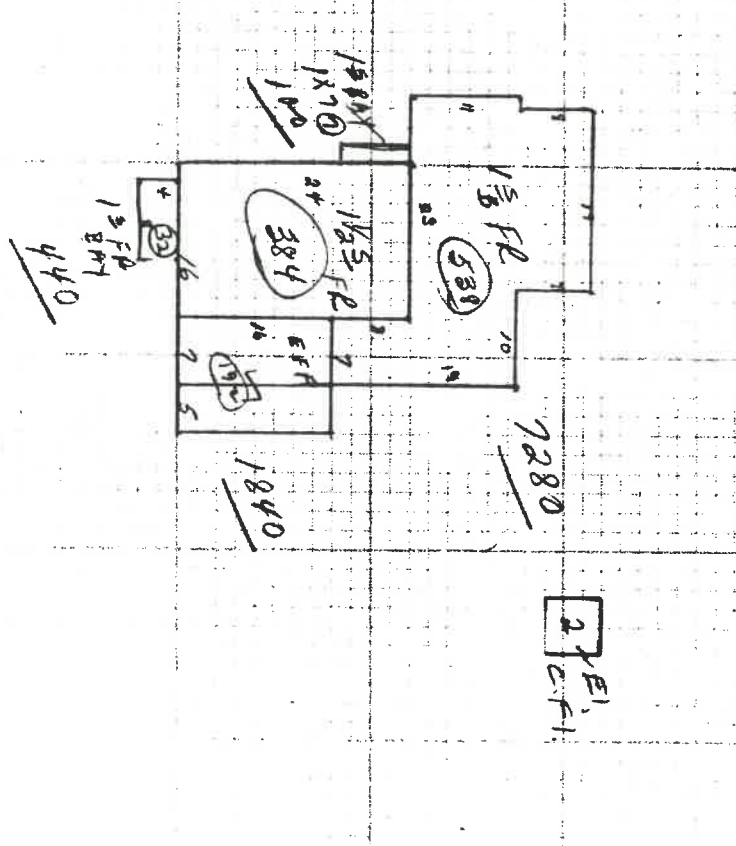
# BUILDING RECORD & CONSTRUCTION SPECIFICATIONS

ADDRESS OF PROPERTY

1446 3 Oakwood

DES	NO	TYPE	ROOF	COVER	EX	VG	G	A+	A	(E)	P	VP	NL	V
APTS	✓	GABLE	✓	SHINGLE										
INDICATION		HIP		SLATE										
ALS	✓	MISL	ROOF	WLS										
LS		EXTERIOR	WALLS											
FRAME/ALUM		FIN	BSMT											
CONC BLK/TILE		ATTIC												
HEAT		A/C												
STUCCO/MTL		BRICK	VENEER											
STONE VENEER		STONE VENEER												
SEMENT	3/4"	L. FIN	B	1	2	3								
SIZE	3/4"	UNT												
FIN	1/2"	PLST												
ATING	1/2"	DW												
MP	1/2"	PANEL												
TER	1/2"	FIBER												
CONC		FLRS	B	1	2	3								
HWD		EARTH												
PNE		CONC												
CARP		HWD												
NO ROOMS		BSMT												
1st	5	BEDROOMS												
2nd	2	FAM/REC												
CERAMIC TILE														
BATH		BATH												
KIT		H-BATH												
FOYER														
GARAGE		NO. CARS												
BSMT GAR														
INTR GAR														
REMOD YR		COST												
EXTERIOR														
KITCHEN														
BATH														
HEAT/A/C														
ELECT														
ADJ BASE														

NO	TYPE	GD CONST	SIZE	AREA	RATE	AGE	REPL VALUE	PHYS DEP	PHYS VALUE	FUNCT DEP	TRUE VALUE
1	1/2 DWELLING	D - FR					28920	50			14460
2	GARAGE	D FR	18x28	504	190	F	3980	55			1790



COMM IND SPECIAL FEATURES

ITEM VALUE





# City of NAPOLEON, OHIO

255 RIVERVIEW AVENUE - (419) 592-4010  
NAPOLEON, OHIO 43545-0151

January 7, 1986

**Mayor**

Robert G. Heft

Roberto Huesca  
321 Short Street  
Napoleon, Ohio 43545

**Members of Council**

Lawrence Haase, President  
William Young  
James Hershberger  
Donald Stevens  
Donald Morford  
Steve White

Re: Certificate of occupancy  
403 Hudson St.

Dear Mr. Huesca:

Enclosed find your certificate of occupancy for the  
above referenced residence.

**City Manager**

Richard A. Hayward

**Clerk-Treasurer**

Rupert W. Schweinhagen

**Law Director**

Keith P. Muehlfeld

Sincerely,

Eldon Huber  
Building Inspector

EH:skw



FILE COPY

No. .... 434

CERTIFICATE OF OCCUPANCY  
THE CITY OF NAPOLEON

ENGINEERING DEPARTMENT  
DIVISION OF INSPECTION

This is to certify that the Building or Land as herein described/complies with all the building and health laws and ordinances and with the provisions of the Zoning Ordinance. substantially \*

Location of Occupancy ... 403 Hudson Street aka. 1 Hudson Drive Occupancy Residence (1 - Family)

Owner of Property ... Roberto Huesca ..... Address ... 321 Short Street

Issued to ... Roberto Huesca ..... Address ... 321 Short Street

Zoning ... B ..... Bldg. Permit No. .... 1119

Substantial qualifications of occupancy ... \* As interpreted and approved by former Napoleon City

Building Inspector Richard G. Hayman.

This certificate is issued by the City Building Inspector, as provided by law, and is to certify that construction is completed substantially\* in conformity with the approved plans and permission is hereby granted to occupy such building in compliance with such legal use and occupancy as authorized under the provisions of the ordinances of the City of Napoleon.

Issued this ... 6th ... day of ... January ... 19 87

This is a valuable record for owner or lessee and should be so preserved.

Signed *Richard G. Hayman*  
City Building Inspector





# PROJECT RECORD FORM

JOB NUMBER \_\_\_\_\_

DATE

REMARKS

R-204.1

GLAZING REQUIRED

CURRENT  
GLAZING

8%

SE - BEDROOM

11'-6" x 14'-0" =

12.88 SQ FT

2.57 SQ FT NA

BATH

6'-0" x 14'-0" =

R-204.3 3.00 SQ FT

6.72 SQ FT

5.78 SQ FT ACCEPT

NE - KITCHEN

11'-6" x 20'-0" =

18.40 SQ FT

5.50 SQ FT NA

SW - BEDROOM

13'-0" x 14'-0" =

14.56 SQ FT

8.59 SQ FT NA

NW - GREAT ROOM

15'-0" x 14'-0" =

16.80 SQ FT

4.50 + 9.06

13.56 SQ FT NA



OK ADD COC AIR AROUND EXHAUST DUCT FROM KITCHEN  
AND SCREW TO COVER  
LOCATION #03 HUDSON PERMIT NO. 1117

ISSUED TO ROBERTO HUESCA  
PERMIT HOLDER AND/OR ALL RESPONSIBLE PARTIES.

NOTICE DELIVERED TO ROBERTO HUESCA

Upon inspection, violations of the \_\_\_\_\_ Sec. \_\_\_\_\_ were in evidence.

The following orders are hereby issued for their correction:

OK ITEM #1 PROVIDE BACK VIEW PERMIT #1

OK ITEM #2 PROVIDE WASTE COLUMN LIST ON

\_\_\_\_\_

OK ITEM #3 OPEN CRACK BRICK VENT HOLE

ADD (MISAPPROX TO CORRECT PERM #02)

OCO ROOMS (INES) PROGRAM

OK ITEM #4 BOX GROUP FIVE 1 HOLE 0 00007

PLEASE CALL FOR INSPECTION WHEN CORRECTIONS HAVE BEEN COMPLETED. ACCEPTANCE AND APPROVAL BY AN INSPECTOR OF THIS DEPARTMENT IS REQUIRED AND MUST BE CORRECTED

ON OR BEFORE FINAL INSPECTION  
DATE 12-5-86 BY FH

INSPECTOR  
PINK - ORIGINAL COPY WHITE - FIELD COPY YELLOW - FILE COPY



Site inspection conducted Fri29Nov85 1:15 - 3:30 pm by Paul Buehrer upon request of City Manager and permission of Mr. and Mrs. Huesca  
Site inspection made Thu05Dec85 1:15 - 1:45 pm by John Helberg and Paul Buehrer for confirmation of citations from previous inspection

Citations of 1983 CABO One and Two Family Dwelling Code

All Citations shall be corrected prior to issuance of Certificate of Occupancy

Next permit shall include correction of foundation

BUILDING PLANNING

R-210 PRIVATE GARAGES

R-210.2 SEPARATION REQUIRED

$\frac{1}{2}$ " drywall shall be applied to garage side of separation wall

FOUNDATIONS

R-301 GENERAL

R-301.2 REQUIREMENTS

The foundation shall accomodate all live, dead, and other loads and all lateral loads

Footer shall be installed

R-302 MATERIALS

R-302.1 STANDARDS

Materials for foundations and basement walls shall be reasonably safe and meet standards

Original pour was made containing miscellaneous masonry articles included in base of pour to take up space and save material

This practice destroys the adhesiveness of the pour

The original poured wall shall be corrected

Several concrete block contain web fractures

In crawl space to west, these block shall be replaced

Foundation has settled (South face of brick to west, and North face of brick to east contains longitudinal fractures)

R-303 FOOTINGS

All exterior and bearing walls shall be supported on footings extending below the frost line

32" footer shall be installed in crawl spaces and slab floor

Bearing surface shall be 12" larger than wall width

WALL CONSTRUCTION

R-402 WOOD

R-402.3 CONSTRUCTION

Exterior walls shall be constructed in accordance with Figure No. R-402.3.1

$\frac{1}{2}$ " anchor bolts at 6' oc imbedded into walls 7"

R-402.7 FIRESTOPPING

Required at floor level at top of concrete walls

Required at ceiling level

WALL COVERING

R-501 GENERAL

R-501.1 APPLICATION

Construction shall conform with material, test, and construction standards

Exterior and interior sheathing shall be removed and replaced

R-501.2 INSTALLATION

Products sensitive to adverse weather shall be protected

Studs may contain too high moisture content

R-503 EXTERIOR COVERING

R-503.1 GENERAL

Exterior walls shall be covered with approved materials

Sheathing shall be removed and replaced



WALL COVERING (CONT)

R-503 EXTERIOR COVERING (CONT)

R-503.4 MASONRY VENEER GENERAL

Masonry veneer shall be installed in accordance with Figure No. R-503.4  
Metal ties shall anchor brick to stud wall

R-503.4.2 ATTACHMENT

Masonry veneer shall be attached using approved metal ties spaced  
24" horizontally and 19-9/16" vertically, or  
16" horizontally and 29-1/4" vertically

R-503.5 WEATHER PROTECTION

Exterior walls shall be covered with weather resistant siding  
This may not have been applied soon enough to prevent moisture damage

5 FLOORS

R-601 GENERAL

R-601.2 REQUIREMENTS

Floors shall be constructed in accordance with Figure No. R-601.2

Header shall be installed at stairwell, same size as floor joists

R-602 DIMENSION LUMBER

R-602.2 ALLOWABLE SPANS

TABLE 6B ALLOWABLE SPANS FOR FLOOR JOISTS - 30 LB LIVE LOAD

In SE bedroom with 12' span, joists shall be 2"x8", 16" oc

In SW bedroom with 14' span, joists shall be 2"x10", 16" oc

TABLE 6A ALLOWABLE SPANS FOR FLOOR JOISTS - 40 LB LIVE LOAD

In rooms with 12' span, joists shall be either 2"x10", 16" oc,  
or 2"x8", 16" oc with bridging

In rooms with 14' span, joists shall be either 2"x12", 16" oc,  
or 2"x10", 16" oc with bridging

R-602.4 LATERAL SUPPORT AND BRIDGING

Bridging shall be 1"x3" diagonal wood, approved metal, or 2x solid wood

R-602.7 FLOOR FRAMING

TABLE R-402.3.2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

Two sheets of flooring in NE end of structure shall be fastened  
in place properly

Using 6d nails or 16 ga staples, 6" spacing at edges and  
10" spacing on intermediate supports

R-602.8 HEADERS

Openings shall be framed with a header

R-605 PLYWOOD

R-605.2 ALLOWABLE SPANS

TABLE R-602.2.4 MINIMUM THICKNESS FOR PLYWOOD COMBINATION SUBFLOOR-  
UNDERLAYMENT

1/2" plywood shall be added to subfloor to meet 3/4" minimum thickness

R-605.3 INSTALLATION

TABLE R-402.3.2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

Using 6d nails or 16 ga staples, 6" spacing at edges and  
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6 ROOF-CEILING CONSTRUCTION

R-701 GENERAL

R-701.1 APPLICATION

Roof system shall conform to material, test, construction, and design  
standards, Figure R-702.3

Adequate plans are required concerning roof trusses

R-702 DIMENSION LUMBER

R-702.1 IDENTIFICATION AND GRADE

Material shall be utility grade lumber or better

Edge joints shall be cut and fitted so that the joint is flush with the cut end of the rafter





ROOF-CEILING CONSTRUCTION (CONT)

R-702 DIMENSION LUMBER (CONT)

R-702.2 FRAMING DETAILS

Ridge boards shall be 1" nominal thickness and not less in depth than the cut end of the rafter

All ridge boards shall be replaced with 1"x6" lumber

R-702.3 FIGURE FRAMING DETAILS

2"x4" purlins to be continuous between braces

2"x4" braces to be 32" oc

Adequate plans are required concerning roof construction

R-702.8 HEADERS

TABLE R-402.6 MAXIMUM ALLOWANCE SPANS FOR HEADERS SUPPORTING WOOD FRAME WALLS

Garage header shall be 2-2"x12" lumber

Window headers shall be 2-2"x6" for up to 4' spans, or  
2-2"x8" for 4' to 6' spans

R-402.3.2 FIGURE FRAMING DETAILS

Window framing shall be altered to match figure for header support

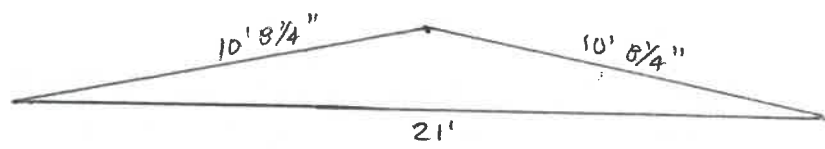
Any and all items may be appealed to the Board of Building Appeals



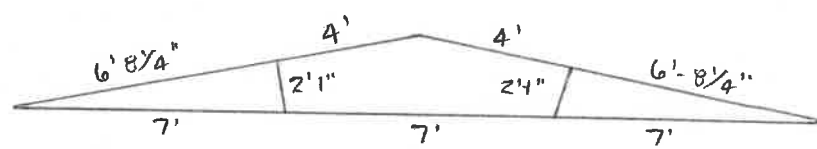
GARAGE 21' Span 2' Peak

Existing		Code Section	Required	Notes
5/8"x4"	Ridge	R-702.2	1"x6"	
2"x4" 16" oc	Rafter	7-M	2"x6" 16" oc	Def=0.53, Span=7'3"
2"x6" 36" oc	Joist	7-D	2"x8" 16" oc	Def=1.05, Span=16'1"
	Purlin	R-702.3Fig	2"x4"	
	Brace	R-702.3Fig	2"x4" 48" oc	

Existing



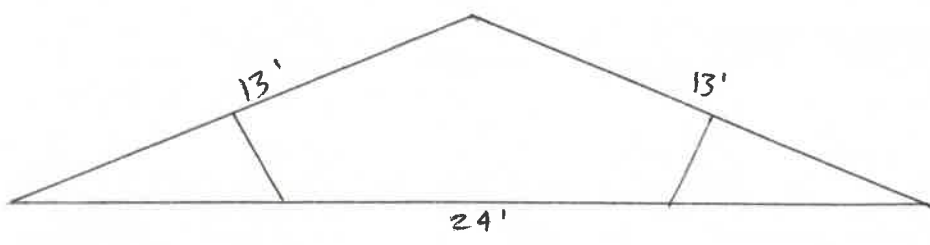
Proposed



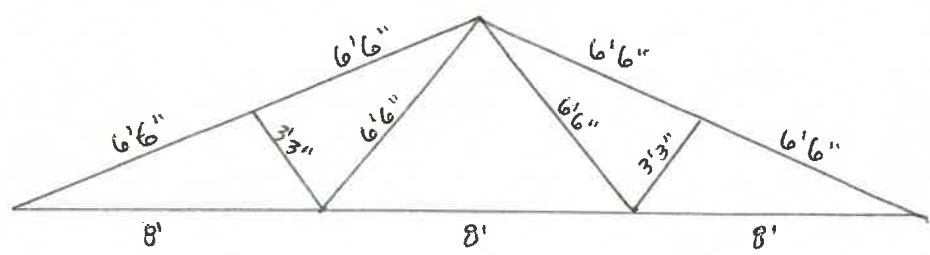
MAIN STRUCTURE 24' Span 5' Peak

Existing		Code Section	Required	Notes
1"x4"	Ridge	R-702.2	1"x6"	
2"x4" 16" oc	Rafter	7-S	2"x4" 16" oc	Def=0.80, Span=6'3"
2"x6" 16"-18" oc	Joist	7-B	2"x6" 16" oc	Def=1.20, Span=12'0"
	Braces	R-701.1	2"x4" 32" oc	

Existing



Proposed





TAPPING PERMIT

Office Of  
Water Works  
Napoleon, Ohio

No. 464

Date 11/19/85

Received of Robert Kueser

Three hundred Dollars 00  
~~100~~

Charge for tapping permit to supply water services to Lot No. 1

Addition Fairgrounds addition

Street No. 403 Hudson

Tap Size 1 Inch Cost 1

Plumber \_\_\_\_\_

Street to be opened-Yes \_\_\_\_\_ No

Opening bond fee set by Engineer \$ \_\_\_\_\_

Street opening agreement approval date \_\_\_\_\_

\_\_\_\_\_  
Clerk-Treasurer

Date completed \_\_\_\_\_

\_\_\_\_\_  
Water Distribution Department



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ROOF-CEILING CONSTRUCTION (CONT)

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Window framing shall be altered to match figure for header support

Any and all items may be appealed to the Board of Building Appeals

*ADD:*

R-204.1 GLAZING REQUIRED (8%)

	ACTUAL (SQ. FT.)	REQ'D (SQ. FT.)	DEFICIENCY (SQ. FT.)
S.E. BEDROOM	2.57	12.88	10.31
BATH	5.78	3.00	O.K.
KITCHEN	5.50	18.40	12.90
S.W. BEDROOM	8.59	14.56	5.97
N.W. ROOM (FAMILY ROOM)	13.56	16.80	3.24

